

**Commissioners:**

Don Bergwall - Chairman
Phillip Jackson - Vice
Chairman
Lacey Ragus
Rebecca Patterson
Trey Bodenhamer
Todd Vande Zande
Carolyn Greenall

**Planning Commission
Meeting Agenda
September 6, 2023 6:30 PM
Council Chambers**

1. Call to Order / Roll Call**2. Announcements**

- A. This public meeting is being conducted via the use of real-time telephonic technology, allowing the public simultaneous access to the public meeting. The meeting may be accessed using Facebook Live via the following link: [www.Facebook.com/City of Kennesaw/](https://www.facebook.com/CityofKennesaw/). However, comments made on Facebook Live will not be visible by City staff. If you would like to provide public comment on a specific agenda item, you can email kennesawcouncil@kennesaw-ga.gov no later than 6:00 p.m. the night of the regular meeting. Your comment will be read aloud or grouped into categories for the record. All interested parties may attend the meeting in person with limited seating available at the City Hall Council Chambers and the Ben Robertson Community Center, if needed. Please note that the Planning Commission serves as an advisory board that makes recommendations to the Mayor and Council unless otherwise noted.
- B. New business items on this agenda will be heard by the Mayor and Council on September 18, 2023.
- C. Pending zoning applications may be viewed on an interactive map via the Planning & Zoning webpage or using the following link: <https://arcg.is/1q1ubX0>.

3. Approval of the Meeting Minutes

- A. Meeting Minutes from August 2, 2023

4. New Business

- A. Consideration for approval of a variance application submitted by Jose Gomez for the property located at 2407 Pine Drive (Parcel Number 20016600640). Case #ZV2023-02.

5. Staff Comment

- A. "Historic Downtown Walking Tour," offered by the Historic Preservation Commission on Friday, September 22nd @ 2PM and 6PM and Saturday, September 23rd @ 10AM and 2PM presented by Andrew J. Bramlett. This event is free. Register online. Each tour is approximately half-a-mile, lasts 45-minutes and can accommodate up to 20 people.

6. Adjourn

**MEETING MINUTES
PLANNING COMMISSION
CITY OF KENNESAW
Council Chambers
August 2, 2023
6:30 P.M.**

1. Call to Order / Roll Call

- Chairman Bergwall calls the meeting to order at 6:30 p.m.
- Roll Call: Don Bergwall, Phillip Jackson, Lacey Ragus, Trey Bodenhamer, and Todd Vande Zande
- Absent: Rebecca Patterson & Carolyn Greenall
- Staff present: Darryl Simmons (Zoning Administrator) and Albert Trevino (Assistant Zoning Administrator and Planner)
- Speakers: Eric Federspiel (CF&G Enterprises)

2. Announcements

- A. This public meeting is being conducted via the use of real-time telephonic technology allowing the public simultaneous access to the public meeting. The meeting may be accessed using Facebook Live via the following link [www.Facebook.com/City of Kennesaw/](https://www.facebook.com/CityofKennesaw/), however, comments made on Facebook Live will not be visible by City staff. If you will like to provide public comment on a specific agenda item, you can email kennesawcouncil@kennesaw-ga.gov no later than 6:00 p.m. the night of the regular meeting. Your comment will be read aloud or grouped into categories for the record. All interested parties may attend the meeting in person with limited seating available at the City Hall Council Chambers and the Ben Robertson Community Center, if needed. Please note that the Planning Commission serves as an advisory board that makes recommendations to Mayor and Council unless otherwise noted.
- B. New business items on this agenda will be heard by the Mayor and Council on August 21, 2023.
- C. Pending zoning applications may be viewed on an interactive map via the Planning & Zoning webpage or using the following link: <https://arcg.is/1q1ubX0>.

3. Approval of the Meeting Minutes

- A. Meeting Minutes from 5-3-2023 (Regular Meeting)

- Chairman Bergwall calls for a motion to approve meeting minutes from May 3rd as submitted.
- Motion of approval by Commissioner Bodenhamer
- Second by Commissioner Vande Zande
- Chairman Bergwall proceeds with a roll call for approval.
- **All in favor, 4-0. Meeting minutes are approved.**

B. Meeting Minutes from 6-14-2023 (Special Call)

- Chairman Bergwall calls for a motion to approve meeting minutes from the Special Call meeting on June 14th as submitted.
- Motion of approval by Commissioner Vande Zande
- Second by Commissioner Ragus
- Chairman Bergwall proceeds with a roll call for approval.
- **All in favor, 4-0. Meeting minutes are approved.**

4. New Business

- A. Approval of ORDINANCE granting a rezoning modification request submitted by CF&G Enterprises, Inc. located at 0 Ellison Lakes Drive (PIN: 20017500170). The property is zoned as Planned Village Community (PVC) and lies in Land Lot 175, Tax Parcel 17 of the 20th District, 2nd Section, Cobb County Georgia and consists of 2.72 +/- acres. Case #RZ2023-03.
- Chairman Bergwall introduces the first new business item.
 - Mr. Darryl Simmons comes to the podium and states “This property was annexed into the city back in 2001 as a master planned and a mixed-use community. The first of its kind brought into the city and design regarding the Cobb Parkway corridor. It has a combination of front line commercial along Cobb Parkway and towards the inside of the property you have a combination of townhomes, multifamily units, a lake, connecting trails and playgrounds and a Daycare Center. The agenda item this evening is before you for consideration to amend a portion of the master plan in this case. In 2001, as part of all of the zoning conditions for PVC, the maximum number of residential units was capped at 898. In 2004, there was an amendment to the master plan, where it allowed for the decrease of multifamily and the increase of additional townhomes still under the cap of 898. At that time there was 537 multifamily units and 309 townhomes. The existing residential count in Ellison lakes is 845 residential units. The proposal before us this evening would be adding a proposed condominium unit building, which will have an additional 45 for sale condominium apartments. Even with the addition, it would still be under the maximum 898 units. The staff analysis which was provided gave you the background of the property, the master plan and how this proposal fits into the master plan. The proposal does not require or show any need for variances based on our current zoning district and the established zoning setbacks that was established for this master plan community. In the staff analysis, our staff put together a number of conditions based on our recommendation to approve the amendment to allow for these condominium units to be erected and I would like to read the 22 conditions. There will be online for anyone to review”.

- Mr. Simmons proceeds to go through all 22 conditions of the rezoning modification and says “Staff recommends approval. We've determined that this additional housing type, if approved, would be the first residential condominium housing unit housing type in the City of Kennesaw. We currently do not have any condominium residential units in the city. The original intent of the Ellison Lakes Master plan is to encourage and promote a variety of housing units, housing styles, as well as a combination of appropriate commercial along Cobb Parkway. We feel that this amendment is appropriate and in keeping with the original intent of the master plan”.
- Vice-Chairman asks if this property is the same property visited by the Commissioners.
- Mr. Simmons responds yes and staff looked at the location and determined townhomes would not be appropriate because of the number of townhomes that were capped. They later withdrew the application. The applicant owns the property as well as the childcare facility nearby and this concept would not affect the childcare center.
- The applicant, Eric Federspiel, comes up to the podium to introduce himself. He says he has been in the real estate business for 25 years and lived in Atlanta for 52 years. He and his wife are excited about bringing the new concept to the city of Kennesaw. They have designed a couple different renderings for a four story building and waiting on the FAA approval for the height regulation which is 55 feet. He looks forward to the Planning Commission approval.
- Chairman Bergwall asks for clarification on the condition #3 in relation to the homeowners association and asks if there is consideration to a condominiums owners association. He asks if the HOA will be responsible for the exterior and roof structures on the building and where the garages will be located on the buildings since it wasn't included on the site plan.
- Mr. Federspiel states “This will be included under common area maintenance. The garages weren't added yet. We were going to add them on the back of the property to block the school so they wouldn't have to see as much into the playgrounds. The way we positioned the building was to face Ellison lakes and the front and rear of the building won't look at our school. We're going to plan it as an option to do half, so if we build 40 or 45 units or 50 units and we'll do 25 garages, single car garages as an option to those units that are for sale. If a 3 bedroom homeowner wants to buy a single car garage he/she can buy that or opt out of it”.
- Chairman Bergwall opens up the floor to public comment.
- Mr. H. Verrill (3247 White Oak Circle) comes up to the podium to state that parking is very expensive and can take up a lot of space and to ask why you would need to increase the number of parking spaces.
- Commissioner Bodenhamer explains the additional parking spaces are not only for residents but for guests as well.
- Vice-Chairman asks if the developer would want a waiver for less parking.
- Mr. Simmons states no and there are a variety of bedroom sizes and square footage so there won't be a need for a reduction.
- Commissioner Bodenhamer asks if the parking garages would be included in the count for the max number of parking spaces required for the project.

- Mr. Trevino states yes the surface parking and garages would be counted in the total parking count. There will be a percentage dedicated to private garages and a percentage dedicated to standard surfaces.
- Chairman Bergwall asks if there are any other questions or comments from the Commission. After no response he closes the floor and calls for a motion to approve the rezoning modification with the 22 conditions listed by staff, but with the following zoning condition modifications: **Condition #3:** The creation of a mandatory homeowners association ("HOA") to be managed by Applicant or a 3rd party professional HOA management company until such time the HOA is "turned-over" to the homeowners which is typically at 100% buildout. Applicant shall fund any shortfall in the operating budget until such time as the HOA is "turned-over" to the homeowners. The homeowners association shall be solely responsible for the upkeep and maintenance of all common areas, mail kiosk, amenities, and amenity areas; including the entrance areas, boundary landscape buffers, detention pond(s), driveways and, parking lot, the exterior façade of the building and roof of the building. **Condition #5:** The HOA covenants shall limit the number of rental units to not exceed ~~15%~~ 10% of the total number of units in the community or such percentage as approved by the City Council.
- Motion of approval by Commissioner Bodenhamer
- Second by Commissioner Vande Zande
- Chairman Bergwall proceeds with a roll call for approval.
- **All in favor, 4-0. Motion is approved.**

B. Approval of a RESOLUTION for an amendment to the current 2022 Future Land Use Map submitted by the City of Kennesaw. The proposed 2023 Future Land Use Map amendments include various parcels city-wide. Case #MISC2023-06

- Chairman Bergwall introduces the next business item.
- Mr. Albert Trevino comes up to the podium and states "Thank you Mr. Chairman and good evening Commissioners. I want to preface agenda item #2 with it is not a rezoning. Agenda item #2 is to amend the 2022 Comprehensive Plan's Future Land Use Map. I repeat this is not a rezoning. Going into details about the maps that we use, the Planning and Zoning Department primarily uses two types of maps. One map is a zoning map, which shows a property's current zoning designation. The zoning determines how a property owner can use their property in present day. The second map that we use is called a future land use map. This map is adopted concurrently with the City's Comprehensive Plan every 5-years with optional annual updates. It is designed for long term planning. It is a product of community engagement and public input. It marks every parcel in the City with a future land use category. This category tells us what the citizens want the City of Kennesaw to look like in the future. Staff uses the future land use map for guidance on staff recommendations for zoning applications. I just want to emphasize that this map bears no weight to the City's current zoning map. This agenda item will not change the zoning to any property. The zoning map and future land use map are completely separate maps that display different information. With that said, I want to go over the Future Land Use Map amendments. There are 6 parcels or areas that we'd like to recommend changes to. The first site we recommend a future land use map category change is located at 2985 Mack Dobbs Road. This site is

currently split with two categories: Planned Unit Development and Community Activity Center and it is currently under construction for a one-story 14,000 square foot medical office facility. This amendment is to change the entire site to a Community Activity Center category. This is a rendering of what is currently under construction. The second site is located at 6045 Pine Mountain Road. This is an amendment to change the site from a Residential Low/Medium to a Public Institutional (PI). PI is a common designation for schools, churches, hospitals cultural institutions and cemeteries. This site received a certificate of occupancy for a religious institution in April of this year. The third site is located at 2971 N Main Street. It is currently designated as Downtown Activity Center. Through recent public input during the Central Business District Phase 2 Expansion project that was done in May 2023, we want to take into consideration the community feedback that was received during those public hearings which was that this parcel should remain low density residential as is what can be seen up North Main Street. Our recommendation is to change this to a Residential Low/Medium category or RL. This picture shows the current state of the property being that it has a historic single-family home. The fourth site is located along Kennesaw Due West Road and it is commonly referred to as "The Columns" property. It has a current future land use designation as Industrial, however, through recent traffic engineer reports and traffic impact studies, lends this site to being uncondusive to conventional industrial development. The studies showed that it would be difficult for a semi-truck to safely and efficiently get onto and out of the site. Kennesaw Due West Road is a two-lane road used for commuter traffic. We are recommending this site be designated as Community Activity Center. Site five is located at 1973 Cobb Parkway. It is currently a natural wetland. This site is adjacent to a stream and stays wet all year round. We are recommending changing the future land use category from Community Activity Center to Park/Recreation/Conservation. This shows a picture of the site. This sixth site is located at 1650 Cobb Parkway on the corner of Cobb and Barrett Parkway. This property was recently annexed into the city limits in March 2023. Being that it was just annexed from Cobb County, it was not assigned a future land use category last year during the Comprehensive Plan Update. We are recommending that this parcel be assigned a Regional Activity Center, which matches the surrounding future land use categories and neighboring developments of Ridenour and Kennesaw Marketplace. This agenda item was advertised in the Marietta Daily Journal on July 14th. Each site was posted with at least one or multiple signs. The property owners for each of these sites were notified and the amendments were thoroughly discussed with each owner with no objections. Staff received many phone calls regarding the public notice signs and were able to inform the public that this was not a rezoning but merely a future land use map amendment update. We did not receive any e-mails for or against this proposal. Staff is recommending to approve the 2023 Future Land Use Map Amendments as presented".

- Chairman Bergwall asks if this proposal was presented before as part of the downtown business area and was denied so what is different this time.
- Mr. Trevino responds that according to the 2017 comp plan it was designated RL for low density residential but at the community engagement meeting, staff proposed that the downtown activity center be extended because the community

wanted to see more of downtown Kennesaw. All of the single family historic homes and other homes on North Main Street should remain as their current designation. As the downtown area grows and the community is changing we would like to change it for this parcel.

- Mr. Trevino and Mr. Simmons have a discussion about what the difference between the zoning map, what a future land use map entails and what the comp plan states.
- Chairman Bergwall opens the floor to public comment.
- Mr. Gilbert Meredith (1973 Cobb Pkwy) comes to the podium to speak about his disapproval of the future land use map for said property. He reads a letter from the property owners stating the change is wrong and the property category should stay the same.
- Chairman Bergwall comments that the area is designated as a wetland and in his experience it takes a lot of time, money, and energy to go through the state process of changing this. You have to get permission from the Corps of Engineers and the government to complete any type of maintenance.
- Vice-Chairman Jackson ask if the property tax would change in the future based on the future land use map.
- Mr. Simmons responds, "Anytime that a property is vacant and there's no improvements to it, it's taxed at a certain rate. As soon as the property is improved upon through construction, occupancy by a tenant or whatever the use is, that's when the Cobb County tax assessor assess the value of the property at that time. The reason why we recommended this future land use designation is correct because it takes a long time if you're even successful in making this a buildable lot. Currently, in our ordinance, we have not issued or we will not be issuing any building permits to construct anything in the floodplain, that's the citywide protocol. What we would require is if the property owner or the family goes to the Corps of Engineers, goes through the state of Georgia, goes through all of the mitigation and then presents the document to the City of Kennesaw. In the future saying we have now been successful in making this a buildable piece of property and the city would honor that. For our long term planning goal, we don't see this happening in the next 5-10 years. Just based on experience, it takes a very, very, very long time. It's 100% wet right now, so putting it in this designation does not take away any value from the property owner. It does not restrict the property owner or the family to any additional restrictions. It's strictly just saying this is what we know for the property as of right now".
- Mr. Meredith comes back to the podium and states he doesn't want the Commission or city to be prejudice about the property and give someone a chance to change it around.
- Ms. Denise Fred (2022 Ellison Way) comes up to the podium to state her subdivision has a detention pond that drains into the wetland property and to maintain this it is \$3,500 monthly. She and the other members of her community are concerned that if anyone touches the wetland area it could cause a backflow into her housing community.
- Mr. Simmons states that we don't have a professional engineer to speak on this issues so as of right now it is hypothetical scenarios. Before any disturbance or future improvements upstream or downstream, the parties would have to provide to

the Corps of Engineers in the state of Georgia and the City of Kennesaw and everyone else how that storm capacity will not go up or be exceeded that could be detrimental to private property that's already existing. Until there is a study done, we cannot say for certain what can or can't become of the wetland area.

- Mr. Meredith continues to give his argument of why the area should be left alone and how it isn't causing any issues currently for the adjacent properties. He states if the designation is changed now that it would be hard with future administrators to get it changed back.
- Commissioner Vande Zande asks if there is any harm done by not changing the designation and does the city benefit from this change.
- Mr. Simmons states "One of the things that each jurisdiction is responsible for is identifying environmentally sensitive areas, and that's a regional partnership with the state of Georgia. This is why you have regional areas and their studies of all the different drainage areas, wetland areas and discharge areas so the state knows what we have. It does not cause a hardship if it's left in CAC but one thing that I've explained to the gentleman on the phone is that the state of Georgia has a very, powerful and strong law regarding property rights. If the case is made that they've done all the work and follow the Planning Commission's recommendation coming back to the city, saying we've met all the requirements to designate this as a buildable lot, the city of Kennesaw would not be against or be in a position to deny someone the use of their property. That's basic property rights and there's no denying of rights. There's no hardship. But I just want to put it in the record that regardless of the future land use designation that it's on right now, if the property owner did their due diligence, they did their homework, the city would honor it, we would welcome commercial redevelopment on the property if it's done properly. But there is a goal and responsibility that we try to align our future land use map with what we see in the future short and long term plan. For right now it's a floodplain area with wetlands, and we need to identify that somewhere in our comprehensive plan as we're being city planners, that's what we're supposed to be doing".
- Chairman Bergwall asks if there are any other questions or comments from the Commission or the community. After no response he closes the floor for questions and calls for a motion to amend the agenda to vote on the items as individuals.
- Motion of approval by Commissioner Vande Zande
- Second by Commissioner Bodenhamer
- All in favor, 4-0. Motion passes.
 - Location #1: 2985 Mack Dobbs Rd
 - Chairman Bergwall calls to entertain a motion.
 - Commissioner Bodenhamer calls for a motion to approve.
 - Second by Commissioner Ragus.
 - **All in favor, 4-0. Motion is Approved.**
 - Location #2: 6045 Pine Mountain Rd
 - Chairman Bergwall calls to entertain a motion.
 - Commissioner Vande Zande calls for a motion to approve.
 - Second by Vice-Chairman Jackson.
 - **All in favor, 4-0. Motion is Approved.**
 - Location #3: 2971 North Main Street

- Chairman Bergwall calls to entertain a motion.
- Commissioner Bodenhamer calls for a motion to approve.
- Second by Commissioner Ragus.
- **All in favor, 4-0. Motion is Approved.**
- Location #4: 2985 Mack Dobbs Rd
 - Chairman Bergwall calls to entertain a motion.
 - Vice-Chairman Jackson calls for a motion to approve.
 - Second by Commissioner Ragus.
 - **All in favor, 4-0. Motion is Approved.**
- Location #5: 1973 Cobb Pkwy
 - Chairman Bergwall calls to entertain a motion.
 - Commissioner Vande Zande calls for a motion to deny.
 - Second by Commissioner Bodenhamer.
 - Commissioner Ragus and Vice-Chairman Jackson voted against the denial.
 - Chairman Bergwall voted as tie breaker in favor of denial.
 - **3-2 in favor of denial. Motion is Denied**
- Location #6: 1650 Cobb Pkwy
 - Chairman Bergwall calls to entertain a motion.
 - Commissioner Bodenhamer calls for a motion to approve.
 - Second by Commissioner Vande Zande.
 - **All in favor, 4-0. Motion is Approved.**

C. Approval of an ORDINANCE to amend the Unified Development Code, Appendix A, Chapters 2, 3, 8 and 9. Case #MISC2023-07

- Chairman Bergwall introduces the last business item.
- Mr. Simmons states “This is more of a cleanup of our codes. Every year we go through, with our city attorney, to look at items that need to be amended either because of legislation or something dealing with state code or court rulings that would influence the Unified Development Code. This ordinance primarily deals with the rules dealing with filing an appeal of either decisions from staff or rendering from the Mayor and Council. We want to have accurate references to the OCG title code and making sure that it's all very clear and cohesive. When you look at all the chapters, we've crossed out and made amendments. Any party that doesn't agree or person agreed by the decision of the Merit Council may appeal such decision to the Superior Court of Cobb County. In the manner provided by the law under chapter 3, title 5 of the OOC GA code, and so we're making a change. It was a previous reference that has been amended on the OCGA. The city attorney provided the correct reference for the appeal process, and we went ahead and made those changes in all of the chapters 2, 3, 8 and 9.
- The list of the exact changes being made are: AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CITY OF KENNESAW, GEORGIA, SECTION 2.03.06, “DENIAL OF SITE PLAN PERMIT APPLICATIONS”; SECTION 3.01.07, “VARIANCE PROCEDURE”; SECTION 3.01.08, “VIOLATIONS, ENFORCEMENTS AND PENALTIES”; SECTION 3.02.09, “ADMINISTRATIVE APPEAL AND JUDICIAL

REVIEW”; SECTION 8.02.06, “APPEALS”; SECTION 8.04.06, “APPEALS”; SECTION 9.02.04, “REQUIREMENTS FOR MAKING VARIANCE APPLICATIONS. A link to the full ordinance can be found on page 104 of the agenda packet here: <https://kennesawga.portal.civicclerk.com/event/171/files>

- Chairman Bergwall calls for a motion to approve the text amendment as presented.
- Motion of approval by Vice-Chairman Jackson.
- Second by Commissioner Vande Zande
- Chairman Bergwall proceeds with a roll call for approval.
- All in favor, 4-0. Meeting minutes are approved.

5. Staff Comment

- A. Upcoming Training: "Practices for Successful Meetings," offered by the City Clerk's Office
 - Mr. Trevino informs the Commission of an upcoming training opportunity on August 18, 2023 that is being presented by the University of Georgia Carl Vinson Institute. They will be going over how to run effective and efficient meetings through tools such as Roberts Rule of Order and agenda settings. There will be two sessions, one at 9:30 a.m. and the other at 2:00 p.m.
- B. "Historic Downtown Walking Tour," offered by the Historic Preservation Commission on Friday, September 22nd @ 2PM and 6PM and Saturday, September 23rd @ 10AM and 2PM presented by Andrew J. Bramlett. This event is free. Register online. Each tour is approximately half-a-mile, lasts 45minutes and can accommodate up to 20 people.
 - Mr. Trevino talks about the walking tour being hosted by Andrew Bramlett walking through the Historic District. He highly encourages any citizens and Commissioners to participate in this opportunity.

6. Adjourn

- Time: 8:27pm



Item Report

TO: The Planning Commission

FROM: Darryl Simmons, Zoning Administrator

DATE: September 6, 2023

TITLE: Consideration for approval of a variance application submitted by Jose Gomez for the property located at 2407 Pine Drive (Parcel Number 20016600640). Case #ZV2023-02.

Summary:

The proposed request is to vary from the design standards for minimum lot size within the R-15 (Single-Family Residential) zoning district under section 2.01.03.04 (D) (1) and section 4.01.02 within the Unified Development Code. The variance request is to reduce the minimum lot size from 15,000 square feet to 11,999 square feet for the purpose of building a new single-family home. This agenda item was advertised in the Marietta Daily Journal on August 18, 2023. The subject property is currently a vacant lot, was previously known as 0 Woodland Drive (Parcel Number 20016600640) with a new address of 2407 Pine Drive and lies in Land Lot 166 Tax Parcel 64.

Recommendation:

The Zoning Administrator recommends approval of the variance request as presented.

Fiscal Impact:

Attachments:

1. Aerial Map
2. Variance Application - 2407 Pine Drive_Redacted
3. Rendering, Survey and House Plans
4. Public Notification Packet



LAND CASES		LAND USE OR ZONING		2407 Pine Drive Land Lot 166, Tax Parcel 64			
		FROM	TO	Subject Property			
AV	LU			R-40 ZONING KENNESAW CITY LIMITS COBB COUNTY LAND LOT	 CITY OF KENNESAW PLANNING & ZONING DEPT. 770-590-8268 <i>Donna Esweeney</i> MAYOR <i>Bob Harvey</i> CITY CLERK	Scale: 1" = 150' Print Date: 8/1/2023 RZ2023-03_Aerial Map	
AX	RZ						
DX	AV – Administrative Variance AX – Annexation DX – De-annexation HBR – Historic Board Review LU – Land Use RZ – Re-zoning SLUP – Special Land Use ZV – Variance						
HBR							
SLUP							
ZV2023-02							



LAND CASES		LAND USE OR ZONING		2407 Pine Drive Land Lot 166, Tax Parcel 64		
		FROM	TO	Subject Property		
AV	LU					 CITY OF KENNESAW PLANNING & ZONING DEPT. 770-590-8268 <i>Donna Eschenberg</i> MAYOR <i>Dea Henry</i> CITY CLERK
AX	RZ					
DX	AV – Administrative Variance	 ZONING				
HBR	AX – Annexation	 KENNESAW CITY LIMITS				
SLUP	DX – De-annexation	 COBB COUNTY				
	HBR – Historic Board Review	 LAND LOT				
	LU – Land Use					Scale: 1" = 150'
	RZ – Re-zoning					Print Date: 8/1/2023
	SLUP – Special Land Use					RZ2023-03_Aerial Map
	ZV – Variance					
ZV2023-02						



#ZV2023-02

Date Received

7/18/23

Staff's Initials

AT

VARIANCE APPLICATION

Required Fee \$375.00

Is this property located within the Kennesaw Historic District (yes) _____ (no) X

A MINIMUM OF ONE CONSULTATION WITH PLANNING AND ZONING ADMINISTRATOR AND STAFF PRIOR TO THE SUBMISSION OF THE REQUESTED APPLICATION IS MANDATORY.
(Applicant or agent must be present at all public hearings)

Date of Consultation 7/14/2023Staff's Initials ATPURPOSE OF VARIANCE REQUEST To reduce the minimum lot size requirement for the R-15 zoning district from 15,000 SQFT to 11,999 SQFTLAND USE PROPERTY ADDRESS 2407 Pine Drive (Parcel Number 20016600640)Land Lot 166 Tax Parcel 64 Lot Size 0.28 acres Current Zoning R-15APPLICANT NAME Jose Gomez

APPLICANT EMAIL _____

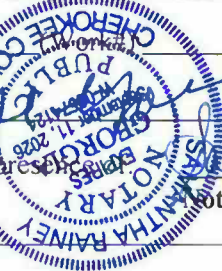
Applicant address 3950 N INDIAN CIR KENNESAW GA 30144

(Home#) _____

(Cell#) _____

Applicant Signature _____

Signed, sealed and delivered in presence of: _____



Notary

Date

REPRESENTATIVE _____

(Fax #) _____

(Work#) _____

(Cell#) _____

Representative Signature _____

Signed, sealed and delivered in presence of: _____

Notary

Date

TITLEHOLDER: same as applicant Telephone: _____

Signature: _____

Address: _____

Signed, sealed and delivered in presence of: _____

Notary

Date



SURVEYORS NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATION WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATION ARE BEGUN, CALL THE UTILITIES PROTECTION CENTER FOR ADDITIONAL INFORMATION.

2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.

3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.

4. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.

LEGEND:

P.O.B. POINT OF BEGINNING
P.O.R. POINT OF REFERENCE
O.H.P. OVERHEAD POWER LINE
P.P. POWER POLE
L.L.L. LAND LOT LINE
I.P.F. 1/2" IRON PIN FOUND
I.P.S. 1/2" IRON PIN SET
O.T.F. OPEN TOP FOUND
T.L.P. TRAFFIC LIGHT POLE
C.L. CENTER LINE
⊗ LOT NUMBER
W.M. WATER METER
C/B CABLE BOX
E.M. ELECTRIC METER
G.M. GAS METER
T/B TELEPHONE BOX
C.T.F. CRIMP TOP FOUND

NOTE:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 85,580 FEET AND AN ANGULAR ERROR OF 00 50'06" PER ANGLE. POINT AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1: 193,383 FEET

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN:

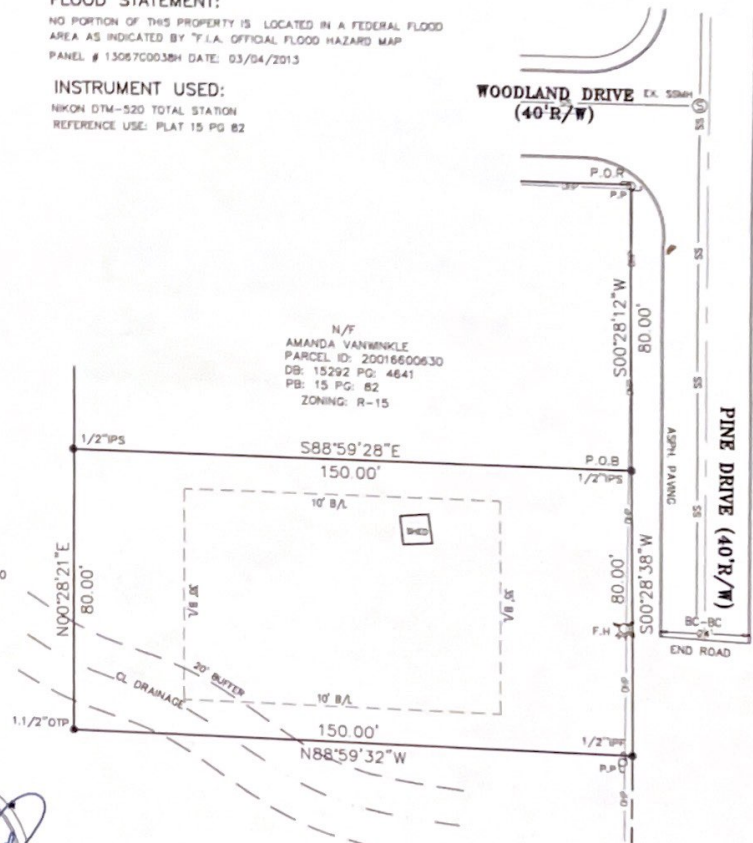


FLOOD STATEMENT:

NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.A. OFFICIAL FLOOD HAZARD MAP PANEL # 13087C0038H DATE: 03/04/2013

INSTRUMENT USED:

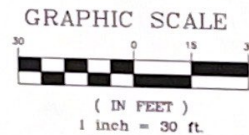
NIKON DTM-520 TOTAL STATION
REFERENCE USE: PLAT 15 PG 82



NOTE:

THE SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67

LOT AREA
11,999 sq. ft.
0.275 acres
ZONING R-15
VACANT LOT



**KENNESAW WOODLAND
ACRES SUBDIVISION**

BOUNDARY SURVEY OF

AMANDA VANWINKLE

PINE DR NW

KENNESAW GA. 30152

PARCEL ID: 20016600640

LAND LOT: 166 20TH DISTRICT

CITY OF KENNESAW

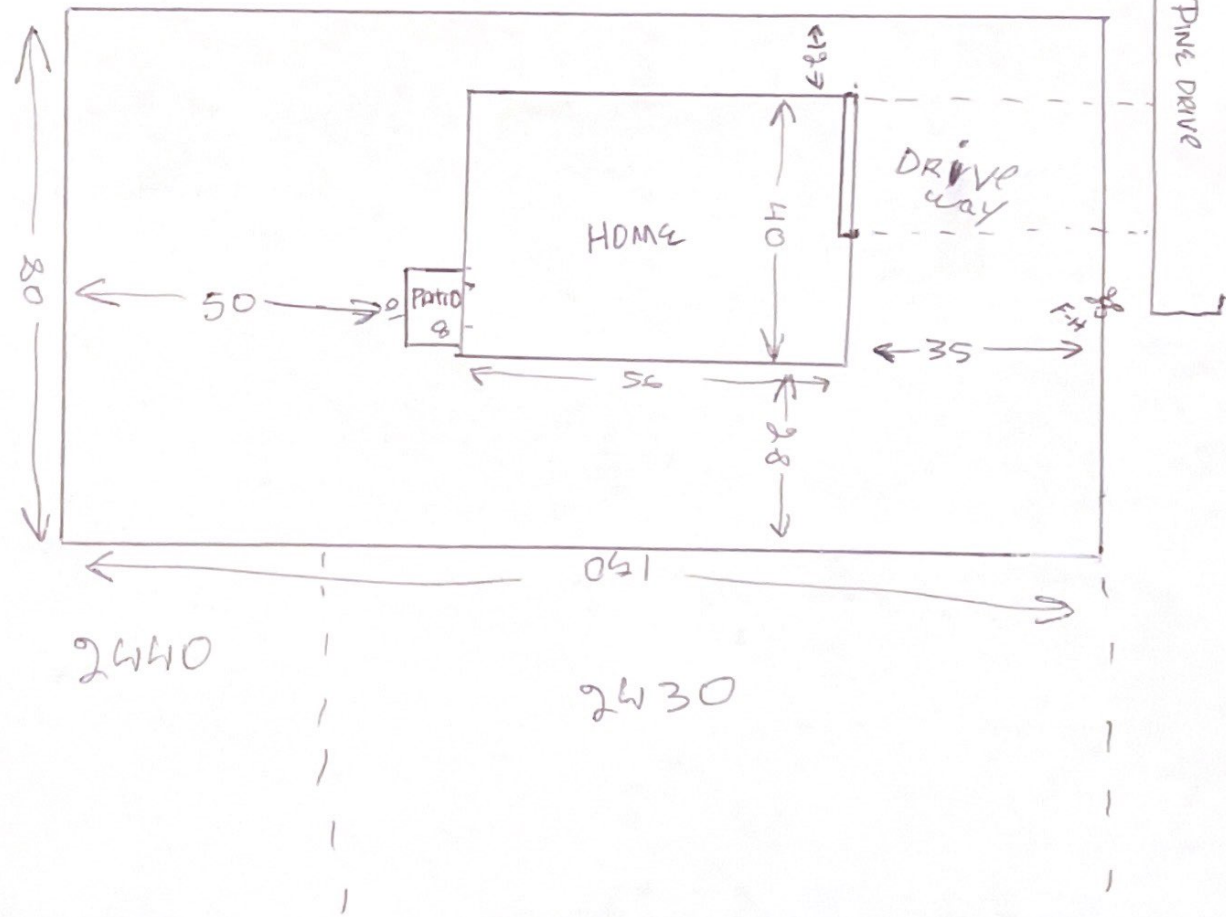
COBB COUNTY, GEORGIA

SCALE 1"=30' NOVEMBER 27 2017

JOB # 26093 B

Lot # 23

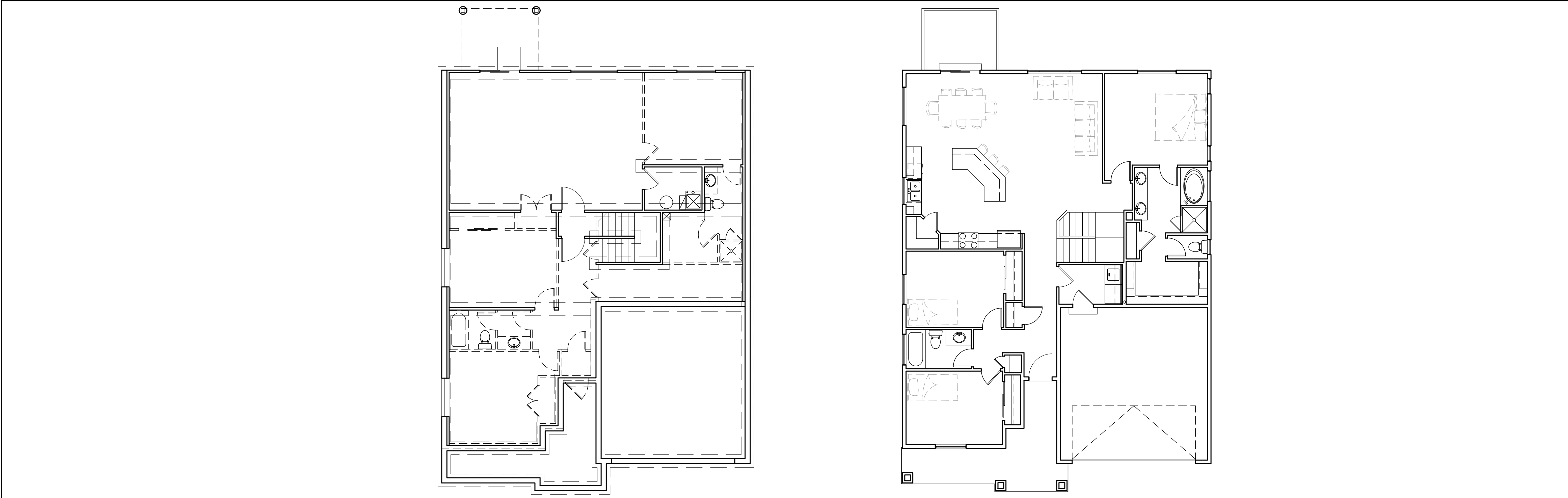
Lot # 24



A New Residence for

Jose Gomez

3950 N Indian Cir NW, Acworth, GA 30144



<u>ARCHITECTURAL</u>	
CVR	COVER SHEET
A0.1	SPECIFICATIONS
A1.1	FOUNDATION PLAN
A1.2	FLOOR PLAN
A2.1	ELEVATIONS
A3.1	FLOOR FRAMING PLAN
A3.2	ROOF FRAMING PLAN
A4.1	BUILDING SECTIONS
E1.1	ELECTRICAL PLAN

1552-01

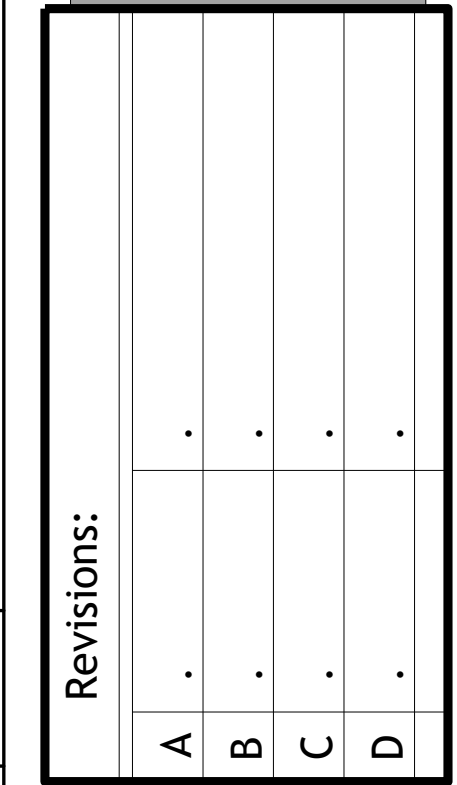
DESIGNER ASSUMES NO RESPONSIBILITY FOR BEAM SIZES, FOOTING SIZES, REBAR SIZE AND PLACEMENT, SHEER WALLS, FOUNDATION STRAPS, ETC. WHEN A STRUCTURAL ENGINEER IS NOT REQUIRED OR ENGAGED, IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR OWNERS BUILDER TO PROPERLY SIZE STRUCTURAL ITEMS LISTED ABOVE ACCORDING TO PRESCRIPTIVE DESIGN IN THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE.

THE BUILDING DESIGNS DEPICTED HEREIN ARE THE SOLE PROPERTY OF LEDGESTONE HOME DESIGN LLC AND MAY NOT BE CONSTRUCTED OR USED WITHOUT ITS EXPRESS WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE BUILDING DESIGNS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERY OF PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONTINGENT UPON THE TIMELY AND FULL PAYMENT OF ALL FEES OTHERWISE DUE LEDGESTONE HOME DESIGN LLC, AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY OTHER REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE BUILDING DESIGNS DEPICTED IS PROHIBITED.

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BUILDER:	ENGINEER:		LOT #	BUILDING CODES:
				ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES: - 2018 International Building Code - 2015 International Residential Code - 2018 International Plumbing Code - 2018 International Mechanical Code - 2020 National Electrical Code - 2018 International Fire Code

FLOOR	TOTAL		
BASEMENT			1552
MAIN FLOOR			1552
GARAGE			405
OVERALL			3104



Drawn by: MRW / MDW
Rev Date: 07/03/2023
Plan Name: R1552-01 PLAN GOMEZ
Release: 10/31/2019



SPECIFICATIONS

STRUCTURAL NOTES:

UNLESS NOTED OTHERWISE, ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE, AND TO FULLY COORDINATE ALL DIMENSIONS AND CONDITIONS OF DETAILS WITH OTHER DISCIPLINES. ANY FIELD CONDITIONS REQUIRING CONSTRUCTION THAT IS DIFFERENT FROM THAT SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. ANY CONFLICTING DETAILS SHOWN IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE CONSTRUCTION OF SAID DETAIL. DO NOT SCALE DRAWINGS. ANY QUESTIONS REGARDING THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE DESIGNER IN THE FORM OF A WRITTEN REQUEST FOR INFORMATION.

ALL SUPPORT OF CONSTRUCTION LOADS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL SHORING AND BRACING REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL PROCEDURES OF SOIL EXCAVATION,BACK FILL, AND SUPPORT OF ADJACENT PROPERTY DURING EARTHWORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

ALL DIMENSIONS INDICATED ON PLANS SHALL BE TO FACE OF STUDS, FACE OF CONCRETE BLOCK, FACE OF ROUGH CONCRETE, CENTERLINE OF COLUMNS,BOTTOM OF METAL DECK, AND TOP OF SLAB, UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT INDICATED ON STRUCTURAL DRAWINGS. THE FOLLOWING DESIGN CRITERIA SHALL BE ENFORCED;

ROOF DEAD LOAD: 15 PSF.
ROOF SNOW LOAD:
Pf = 30 PSF
Ce = 1.0
I = 1.0
Ct = 1.0
WIND FORCES:
BASIC WIND SPEED: 115 MPH (3 SECOND GUST)
WIND EXPOSURE TYPE: B
RISK CATEGORY II
SDS = 0.82
SD1 = 0.45
SITE CLASS D
SEISMIC DESIGN CATEGORY D
BASIC LFRS = LIGHT FRAMED WALLS WITH SHEAR PANELS
R=6.5
W WEIGHT OF STRUCTURE:
DESIGN BASE SHEAR - 0.126W (ULTIMATE)
0.090W (SERVICE)
DESIGN PROCEDURE: EQUIVALENT LATERAL FORCE

(NOTE: SITE SPECIFIC,
ADJUST AS NEEDED)

FOUNDATIONS:

MAXIMUM ALLOWABLE SOIL PRESSURE: = 1500 PSF. PER IBC 2018 TABLE 1806.2.
ALL FOOTING DEPTHS INDICATED ON PLANS ARE MINIMUM DEPTHS. FOOTINGS MAY BE PLACED IN NEAT EXCAVATED TRENCHES. TRENCH SHALL BE APPROVED BY INSPECTOR PRIOR TO PLACEMENT OF CONCRETE. AT LOCATIONS WHERE STRUCTURAL FILL IS REQUIRED, FILL SHALL BE PLACED IN 6" LIFTS & COMPACTED AT OPTIMUM MOISTURE CONTENT. REFER TO SOILS INVESTIGATION FOR DEPTH AND EXTENT OF STRUCTURAL FILL.

CONCRETE:
ALL CONCRETE MATERIALS SHALL COMPLY WITH THE STANDARDS SPECIFIED INTHE LATEST EDITION OF THE ACI 318 BUILDING CODE.

LOCATION	SPECIAL	SLUMP	AGGREGATE	COMPRESSIVE
-	INSECT.	(MAX)	(MAX SIZE)	STRENGTH (PSI)
FOOTINGS	NO	5	1" DIA	3000 (2500 DESIGN)
STEM WALLS	NO	5	1" DIA	3000 (2500 DESIGN)
SLAB ON GRADE	NO	3-1/2"	3/4" DIA	3500(2500 DESIGN)
SLAB ON DECK	NO	3-1/2"	3/4" DIA	3500(2500 DESIGN)

ANY CONCRETE THAT FAILS TO MEET SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, DESIGN,PLACEMENT AND REMOVAL OF ALL FORM WORK. ALL SHORING DURING PLACEMENT OF CONCRETE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STRUCTURAL STEEL:

ALL STRUCTURAL STEEL COMPONENTS SHALL BE FABRICATED AND ERECTED ACCORDING TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATIONS FOR DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", WITH " COMMENTARY", AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

ALL STEEL SECTIONS SHALL CONFORM TO THE FOLLOWING:
WIDE FLANGE SHAPES: ASTM A572 GRADE 50 OR ASTM A992 GRADE 50.
HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B, Fy MIN. = 46 KSI
ANGLES, CHANNELS, PLATES & BARS: ASTM A36.

ALL WELDING SHALL BE DONE BY CERTIFIED AWS WELDERS, AND COMPLY WITH THE LATEST EDITION OF THE AWS D1.1 CODE FOR WELDING IN BUILDING CONSTRUCTION. ALL FILLET WELDS TO BE 3/16" UNLESS NOTED OTHERWISE. ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL BE WITH ASTM A307, UNLESS NOTED OTHERWISE. PROVIDE EDGE DISTANCE IN ACCORDANCE TO AISC TABLEJ3.7 UNLESS NOTED OTHERWISE. ALL FIELD WELDS SHALL BE SPECIALLY INSPECTED PER IBC 2015 TABLE 1704.3. ALL TESTING AND INSPECTION REPORTS SHALL BE SENT TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE ENGINEER SHALL HAVE 10 BUSINESS DAYS TO REVIEW SHOP DRAWINGS.

STRUCTURAL STEEL SHALL BE SPECIALLY INSPECTED AS PER IBC 2018, TABLE1704.3

CONCRETE REINFORCING:

ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60, Fy=60,000 PSI MIN., UNLESS NOTED OTHERWISE. BARS SHALL BE TIED SECURE PRIOR TO PLACEMENT OF CONCRETE TO MAINTAIN PROPER PLACEMENT AFTER CONCRETE IS IN PLACE. LAP ALL BARS 40 DIAMETERS UNLESS NOTED OTHERWISE. SPLICE BARS ONLY WHERE SHOWN ON PLANS.

MAINTAIN THE FOLLOWING CONCRETE COVERAGES FOR CONCRETE REINFORCING:

UNFORMED SURFACES IN CONTACT WITH EARTH.....3"
FORMED SURFACES IN CONTACT WITH EARTH.....2"
FORMED SURFACES EXPOSED TO OUTSIDE WEATHER.....2"
SLABS AND WALLS NOT EXPOSED TO WEATHER.....1 ½"
CLEAR DISTANCE BETWEEN BARS.....2" U.N.O.

LAMINATED VENEER LUMBER:

ALL LAMINATED VENEER LUMBER SHALL CONFORM TO THE SPECIFICATIONS OF ILEVEL CORPORATION FOR VENEER LUMBER, OR ENGINEER APPROVED EQUIVALENT. DESIGN VALUES SHALL MEET OR EXCEED THOSE PUBLISHED VALUES IN THE ILEVEL PRODUCT GUIDE, LATEST EDITION. A COMPLETE SET OF STRUCTURAL SHOP DRAWINGS, INDICATING MEMBERS AND PLACEMENT SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO THE FABRICATION OF THE MEMBERS. THE ENGINEER SHALL HAVE 10 BUSINESS DAYS TO REVIEW SHOP DRAWINGS.

PLYWOOD WEB JOIST:

ALL WOOD I-JOIST SHALL CONFORM TO THE SPECIFICATIONS OF ILEVEL CORPORATION FOR TJ JOISTS, OR ENGINEER APPROVED EQUAL. DESIGN VALUES SHALL MEET OR EXCEED THOSE PUBLISHED VALUES IN THE ILEVEL TJ JOIST PRODUCT GUIDE, LATEST EDITION. A COMPLETE SET OF STRUCTURAL SHOP DRAWINGS, INDICATING MEMBERS AND PLACEMENT SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO THE FABRICATION OF THE JOISTS. THE ENGINEER SHALL HAVE 10 BUSINESS DAYS TO REVIEW SHOP DRAWINGS.

SHEATHING:

SHEATHING SHALL BE A.P.A. RATED, SEE PLAN FOR SPAN RATING AND THICKNESS.
SHEATHING INSTALLATION:
ROOF AND FLOOR SHEATHING SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO THE FRAMING MEMBERS U.N.O. AND END JOINTS SHALL BE STAGGERED. WALL SHEATHING MAY BE APPLIED HORIZONTALLY OR VERTICALLY.
ALL NAILS SHALL BE COMMON WIRE NAILS U.N.O. EQUIVALENT PNEUMATIC DRIVEN NAILS MAY BE USED IF FASTENER MANUFACTURER HAS CURRENT I.C.C. APPROVAL. FASTENERS TO BE USED SHALL BE EQUIVALENT IN LATERAL AND WITHDRAWAL STRENGTH TO THE SIZE COMMON NAIL SPECIFIED.

ROOF SHEATHING:

EDGE BLOCKING OF UNSUPPORTED EDGES OF SHEATHING AS NOTED ON PLANS. PLY CLIPS OR APPROVED EQUAL CONNECTOR SHALL BE INSTALLED AT MIDSPAN BETWEEN EACH SUPPORT WHEN RAFTER SPACING EXCEEDS 16" AND EDGE BLOCKING IS NOT SPECIFIED.

TYPICAL NAILING SHALL BE 8d @ 6" O.C. AT SUPPORTED EDGES AND OVER SHEARWALLS AND 8d AT 12" O.C. AT INTERMEDIATE SUPPORTS, U.N.O.

FLOOR SHEATHING:

EDGE BLOCKING OF UNSUPPORTED EDGES OF SHEATHING AS NOTED ON PLANS.

TYPICAL NAILING SHALL BE 10d @ 6" O.C. ALL SUPPORTED EDGES AND OVER SHEAR WALLS, AND 10d @ 12" O.C. ALL INTERMEDIATE SUPPORTS U.N.O. USE RING SHANK NAILS.

ALL FLOOR SHEATHING SHALL BE GLUED TO JOISTS. THE FIELD-GLUED FLOOR SYSTEM SHALL BE INSTALLED ACCORDING TO THE RECOMMENDATION OF THE AMERICAN PLYWOOD ASSOCIATION. GLUE SHALL BE APPLIED TO THE JOISTS AND TO THE GROOVE IN THE EDGE OF THE T & G PANELS. GLUE SHALL MEET THE REQUIREMENTS OF THE AMERICAN PLYWOOD ASSOCIATION ADHESIVE SPEC. AFG-D1 AND SHALL BE APPLIED AS DIRECTED BY THE GLUE MANUFACTURER. GLUE MAY BE APPLIED MANUALLY OR WITH PNEUMATIC OF ELECTRIC EQUIPMENT.

STEEL FASTENERS/ANCHOR BOLTS:

ALL STEEL FASTENERS AND ANCHOR BOLTS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE GALVANIZED STEEL OR STAINLESS STEEL IN ACCORDANCE WITH IBC 2304.9.5.

ROUGH CARPENTRY:

FRAMING LUMBER SHALL MEET THE FOLLOWING MINIMUM STANDARD U.N.O.
(USE) (SPECIES) (GRADE)
SILL PLATES 2 x 4 D.F./H.F. STANDARD OR BETTER.
2 x 6, 2 x 8 D.F./H.F. NO. 2 OR BETTER.
ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY, SHALL BE PRESSURE TREATED OR CALIFORNIA REDWOOD.

HORIZONTAL FRAMING LUMBER: (UNO)
4x4 AND SMALLER D.F./H.F. NO. 2
2x ROOF JOISTS & RAFTERS D.F./H.F. NO. 2
2x FLOOR JOISTS D.F./H.F. NO. 2
3x LEDGERS D.F./H.F. NO. 2
4x HEADERS & BEAMS D.F./H.F. NO. 2
6x6 & LARGER BEAMS D.F./H.F. NO. 2

VERTICAL FRAMING LUMBER: (U.N.O.)
ALL STUDS D.F./H.F. STUD
ALL POSTS D.F./H.F. NO. 2
ALL OTHER LUMBER U.N.O D.F./H.F. NO. 2
PROVIDE A MINIMUM OF (2) STUDS UNDER ALL BEAM BEARING LOCATIONS UNO. PROVIDE A MINIMUM OF (3) STUDS UNDER ALL GIRDER TRUSS BEARING LOCATIONS UNO. WHERE POSTS OR MULTIPLE STUDS UNDER BEAMS OR HEADERS ARE IDENTIFIED ON DRAWINGS, THOSE POSTS OR MULTIPLE STUDS SHALL BE CARRIED TO THE FOUNDATION. BLOCK JOISTS AT ALL SUPPORTS. DOUBLE JOISTS UNDER PARALLEL PARTITIONS. BLOCK UNDER PERPENDICULAR PARTITIONS AT 32" O.C.

JOISTS HANGERS AND OTHER METAL FRAMING ACCESSORIES ARE REFERRED TO ON PLANS BY PARTICULAR TYPE AS MANUFACTURED BY SIMPSON COMPANY, SAN LEANDRO CALIFORNIA. ACCESSORIES OF OTHER MANUFACTURER WITH EQUIVALENT LOAD CARRYING CHARACTERISTICS MAY BE USED, WHEN APPROVED BY ENGINEER.

BOLTS: HOLES IN WOOD 1/16" OVERSIZE MAX. USE WASHERS AGAINST WOOD. RETIGHTEN ALL BOLTS BEFORE CLOSING IN. PRE-DRILL HOLES FOR LAG BOLTS AND TURN BOLTS INTO HOLES, DO NOT DRIVE-IN. FIRE STOPPING, BACKING FOR INTERIOR FINISHES, NON-BEARING WALLS AND OTHER NON-STRUCTURAL FRAMING IS NOT NECESSARILY SHOWN ON THE STRUCTURAL DRAWINGS.
SEE FASTENING SCHEDULE (U.N.O.) PER IBC 2018 TABLE 2304.9.1.

PREFABRICATED WOOD TRUSSES:

ALL LUMBER SHALL BE DOUGLAS FIR OR HEM FIR.
FLOOR TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING STANDARDS: NATIONAL DESIGN SPECS.
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION W.C.L.A. RULE NO. 16.
DESIGN SPECS FOR LT. MTL. PLATE CONNECTED WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE.
CAMBER TRUSSES FOR 1 1/2 TIMES THE DEAD LOAD DEFLECTION.

TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING MIN. LOADING: ROOF TRUSSES:
TOP CHORD DL = 10 psf
SL = 30 psf
BTM. CHORD DL = 5 psf
LL = 10 psf (NOT TO BE APPLIED AT THE SAME TIME AS TOP CHORDLL)

MAXIMUM DEFLECTION OF TRUSSES SHALL BE (DEAD + LIVE).
ROOF - L/360

WEB MEMBERS MAY NOT BE SHOWN ON DRAWINGS. MANUFACTURER TO DETERMINE WEB MEMBER CONFIGURATION AND TRUSS CONNECTION. NO TRUSS MAY BE ALTERED OR MODIFIED IN THE FIELD WITHOUT THE WRITTEN APPROVAL FROM THE ENGINEER. A COMPLETE SET OF SHOP DRAWINGS, ICBO REPORTS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO THE FABRICATION OF ANY MEMBERS. SUCH CALCULATIONS SHALL BE PREPARED UNDER THE DIRECTION OF A LICENSED ENGINEER IN THE STATE IN WHICH THE BUILDING IS TO BE BUILT.

GENERAL NOTES:

- LOW FLUSH TOILETS REQUIRED MAXIMUM 1.6 GALLONS/ FLUSH.
- MAXIMUM FLOW RATE OF SHOWER HEADS IS 2.5 G.P.M.
- 2018 IBC CODE TO BE UTILIZED, PER SPECIFICATIONS.
- HB = FREEZELESS, BACKFLOW PREVENTION HOSE BIBB.
- FLUE AND EXHAUST VENTS WILL TERMINATE 4'-0" BELOW OR 4'-0" HORIZ. AND AT LEAST 1' ABOVE A DOOR OR OPERABLE WINDOW OR GRAVITY AIR INLET
- EMERGENCY FLOOR DRAINS REQUIRE A TRAP SEAL PRIMER OR DEEP SEAL TRAP
- CLOTHES DRYERS SHALL BE VENTED TO EXTERIOR, DUCTS TO BE METAL WITH SMOOTH INTERIOR SURFACE, EQUIPPED WITH BACK-DRAFT DAMPERS, TERMINATE AT EXTERIOR OF BUILDING. NOT TO BE INSTALLED WITH SHEET METAL SCREWS. PROVIDE POWER VENT IF DUCT LENGTH IS OVER 14'-0" (2) 90 DEGREE ELBOWS MAX. WITH 4'-0" DUCT MIN. MAXIMUM DRYER VENT LENGTH TO BE 35'-0" AND SEALED AND SUPPORTED EVERY 12' IN LENGTH.
- ATTIC ACCESS TO BE 22" X 30" FINISH MIN. AND NOT LOCATED ABOVE A SHELF IN CLOSETS, 30"HEADROOM REQ. ABOVE ACCESS, 1 HOUR FIRE RESISTANT CONSTRUCTION AND LATCH IN GARAGES. PER IRC R807.1
- ALL CASED OPENINGS SHALL HAVE SAME HEIGHT AS DOOR CASINGS HEIGHT, U.N.O.
- ALL EXTERIOR WALLS TO BE 2X6 STUD @ 16" O.C, ALL INTERIOR TO BE 2X4 STUD, U.N.O.
- LOCATE SINGLE TOWEL BARS @ 64" A.F.F.
- (1) ROD/ (1) SHELF, CLOSET SHELF @ 72" A.F.F.
- (2) RODS/ (2) SHELVES, CLOSET SHELVES @ 42" & 84" A.F.F.
- RAIL @ 36" A.F.F. OR ABOVE STAIR TREAD, PROVIDE 4" MAX. SPACE BETWEEN BALUSTERS.
- BALCONY RAIL @ 42" A.F.F, PROVIDE 4" MAX. SPACE BETWEEN BALUSTERS.
- SEE SITEPLAN AND ELEVATION NOTES FOR GRADING SPECIFICATIONS, IF NEEDED
- PROVIDE HEAT/ CHECK VALVES @ INLET & OUTLET OF WATER HEATER
- WINDOW WELLS W/ FIXED LADDERS TO COMPLY WITH IRC R310.2
- EGRESS WINDOWS DEEPER THAN 44" REQUIRE A LADDER, CLEAR DIMENSIONS TO BE 9 sq. ft. MIN.(FULL OPEN) AND 36" IN SMALLEST DIRECTION PER IRC R310.2
- EGRESS RESCUE WINDOWS TO BE PROVIDED IN ALL BEDROOMS, MAX OF 44" A.F.F TO OPENING, AND MIN. OF (1) IN THE BASEMENT. PROVIDE MIN. WIDTH OF 20", MIN. HEIGHT OF 24", MIN. NET CLEAR OF 5.7 SQ FT (5.0 SQ FT FOR GROUND FLOOR).
- GLAZING TO BE TEMPERED IF : a) WITHIN TUB/SHOWER ENCLOSURES, b) SILL WITHIN 60" VERTICALLY OF TUB/SHOWER DRAIN, c) CONTAINED IN OR USED AS A DOOR, d) WITHIN AN ARC OF 24" OF EITHER VERTICAL EDGE OF A DOOR, e) SILL LESS THAN 18" A.F.F. f) CONTAINED IN OR USED AS A RAILING,SEE FLOOR PLANS.
- WATER RESISTANT GYP. BD. NOT TO BE USED OVER VAPOR BARRIERS & CLG.
- ALL SHOWER ACCESS OPENINGS TO HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22" PER IRC P2708.1.1.
- PROVIDE 1 HR. SEPERATION BETWEEN GARAGE AND LIVING SPACES. 5/8" TYPE X GYP WALLS, CEILING & BEAMS. (1) LAYER 5/8" TYPE "X" ON CEILING WHEN LIVING SPACE IS ABOVE. SEE 2018 IBC.
- DOORS FROM DWELLING TO GARAGE AREAS TO BE 1 3/8" SOLID CORE WOOD OR 20 MIN. RATED METAL W/ SELF CLOSURE, SEE FLOOR PLANS FOR LOCATIONS
- MIN. 36" X 36" LANDING TO BE PROVIDED AT ; a) ALL EXTERIOR DOORS (EXCEPT GARAGE) AT TOP OF STEPS, b) BOTTOM OF ALL INTERIOR STAIRWAYS, c) TOP OF INTERIOR STAIRWAYS UNLESS DOOR DOES NOT SWING OVER STAIRS
- HANDRAILS WILL BE PROVIDED WHERE THERE ARE 3 OR MORE RISERS AND WILL COMPLY WITH IRC 315.1& 315.2 - 1 1/4" TO 2 5/8" GRIPPABLE SURFACE @ HANDRAIL.
- PROVIDE PRESSURE RELIEF VALVE ON WATER HEATER.
- SEISMIC TIE DOWNS TO BE PROVIDED AT WATER HEATERS. LOCATE @ TOP 1/3 & BTM 1/3.
- 30" MIN. CLEARANCE TO BE PROVIDED IN FRONT OF ALL WATER HEATERS
- OUTSIDE COMBUSTION AIR TO BE PROVIDED FOR ALL WATER HEATERS & FURNACE
- PROVIDE 30" CLEARANCE IN FRONT OF FURNACE FOR SERVICING
- FUEL FIRED APPLIANCES @ GARAGE TO BE 18" A.F.F.
- MIN. 30" CLEARANCE ABOVE COOKTOPS TO COMBUSTIBLES
- ALL PLUMBING VENTS THROUGH ROOF TO BE 2" PIPE MIN. ALL PENETRATION THROUGH ROOF SHALL BE 5'-0" MIN. FROM ANY PARTY WALL AND SHALL BE 2'-0" ABOVE OR 10'-0" AWAY FROM ALL EXTERIOR AIR INTAKE OPENINGS AND AT LEAST 3'-0" FROM PROPERTY LINE
- PROVIDE EXPANSION TANK @ WATER HEATER PER IRC P2903.4
- COMBUSTION AIR IS TO BE TAKEN FROM OUTSIDE. PROVIDE (2) COMBUSTION AIR DUCTS (1 COMB, 1 EXH) WITH EXTERIOR COVERS OF 1/4" SCREEN, TERMINATE ONE DUCT WITHIN 12" OF CLG. AND THE OTHER WITHIN 12" A.F.F.
- MECHANICAL EXHAUST EQUIPMENT TO PROVIDE 5 AIR CHANGES PER HOUR MIN. AS PER IRC R303.1.1.
- MAINTAIN A 1" AIR SPACE BETWEEN ATTIC INSULATION & ROOF SHEATHING AT ALL ROOF RAFTER FRAMING AREAS, 1" BAFFLES AT PERIMETER
- THIS STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CITY AND STATE BUILDING CODES, AMENDMENTS AND ORDINANCES AS VERIFIED BY BUILDER
- INSULATION MINIMUMS: WALL EXTERIOR R-21, CEILING R-49, FLOOR R-30, BASEMENT WALLS R-15, UNO, REFER TO PASSING RES CHECK FOR ALTERNATES.
- #4 GRADE REBAR @ 12" O.C. BOTH WAYS FOR PORCH CAP, UNO
- PROVIDE 120" F MAX. ANTI-SCALD SHOWER VALVE ON ALL SHOWER AND TUB SHOWER COMBOS PER IRC P2708.4 AND P2713.3.
- PROVIDE BRACING @ ALL SHELVES EVERY 4'-0".
- ALL FOOTINGS TO BE 30" BELOW FROST LINE, MINIMUM.
- MUD SILL PLATES TO BE MADE OF REDWOOD OR PRESSURE TREATED WOOD.
- FLOOR SHALL BE BLOCKED PERP. TO THE FLOOR JOISTS. BLOCKING TO BE FULL DEPTH WITHIN FIRST TWO JOIST SPACES OF THE FOUNDATION WALL, W/ 2X4 FLAT BLOCKING ELSEWHERE (R404.1 #4)
- MECH ROOM TO BE FRAMED AND INSULATED W/ VAPOR BARRIER, PROVIDE 2868 SOLID SEALED DOOR W/ THRESHOLD.
- ELECTRICAL BOXES IN GARAGE TO BE 2 HR RATED AND GFCI. ONE OUTLET REQUIRED PER GARAGE STALL SPACE
- METAL FLASHING REQUIRED FOR MASONRY VENEER REQUIRED FROM FOUNDATION UP THE FIRST THREE COURSES, WITH 3/16" WEEP HOLES @ 33" O.C, FLASHING TO EXTEND BEYOND FOUNDATION EDGE 1/2"
- ARC-FAULT CIRCUIT INTERRUPTERS ARE REQUIRED ON ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15-20 AMP RECPT OUTLETS IN BEDROOMS.
- CEMENT, FIBER-CEMENT AND GLASS MATT GYPSUM BACKERS SHALL BE USED FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.
- ALL BACKFILLED AREAS TO BE PROPERLY COMPACTED PRIOR TO OCCUPANCY
- SHOWER PAN TO BE PROVIDED PER IRC P2709.
- 90% EFFICIENCY FURNACE STANDARD, UNLESS OTHERWISE SPECIFIED
- WATER HEATER TO BE 40 GALLON CAPACITY MINIMUM, UNLESS OTHERWISE SPECIFIED
- BATHROOM EXHAUST FANS ARE REQUIRED TO VENT TO THE EXTERIOR OF HOME.
- PLUMBING FIXTURES TO HAVE MINIMUM REQUIRED CLEARANCES PER IRC R307 AND P2705.1.
- A FLOOR DRAIN OR STEEL PAN HAVING A MIN THICKNESS OF 24 GAUGE, OR OTHER PANS APPROVED FOR SUCH USE IS REQUIRED FOR THE WATER HEATER PER IRC P2801.6.



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RI552-01 PLAN	3950 N Indian Cir NW Acworth, GA 30144	SPECIFICATIONS
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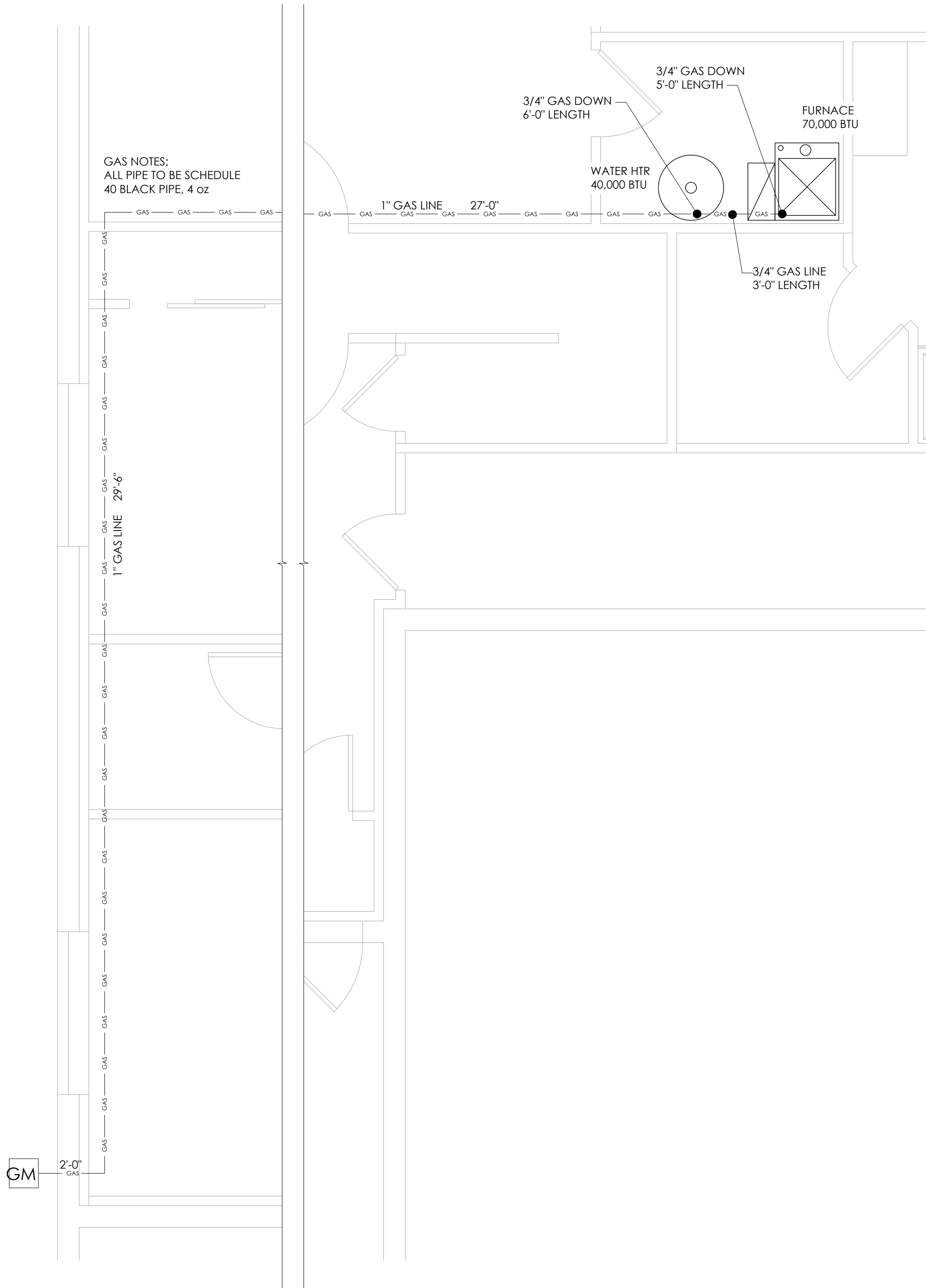
Drawn by: MRW / MDW
Rev Date: 07/03/2023
Plan Name: R1552-01 PLAN GOMEZ
Release: 10/31/2019

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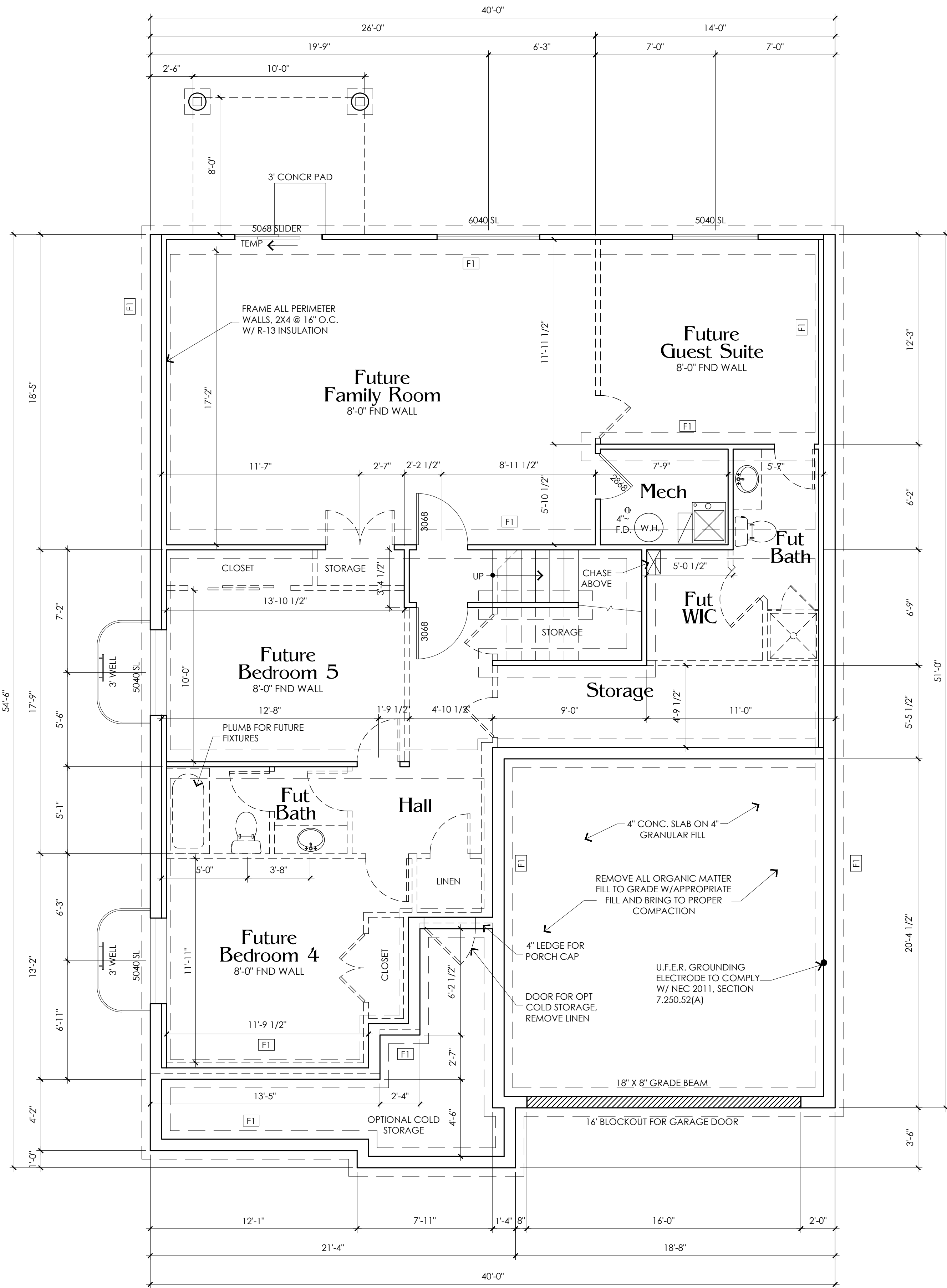
PLUMBING NOTE:
1. BACK WATER VALVE TO BE INSTALLED TO PROTECT BASEMENT PLUMBING FIXTURES WHERE THE FLOOD RIM OF THE FIXTURES ARE BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE COVER IN THE PUBLIC SEWER.

- ENERGY NOTE:
1. ALL SUPPLY AND RETURN DUCTING IN UNCONDITIONED SPACES TO BE INSULATED TO AN R-8 RATING.
 2. AIR LEAKAGE COMPLIANCE IS REQUIRED PER IECC SECTION R402.4, G.C. TO PROVIDE A PASSING BLOWER DOOR TEST, WITH CERTIFICATION, AS OUTLINED IN R402.4.1.2 TESTING TABLE.
 3. A PASSING DUCT BLAST TEST IS REQUIRED FOR THE DUCT SYSTEM IN THE ATTIC SPACE.

- SITE NOTES:
1. CONCRETE WASHOUT REQUIRED AT SITE. ALL OTHER CONSTRUCTION LIQUIDS AND DEBRIS TO BE DISPOSED OF PER THE UTAH STATE CLEAN WATER ACT.
 2. FOOTING EXCAVATIONS SHALL BE INSPECTED AND APPROVED IN WRITING BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT.



GAS LINE DIAGRAM
SCALE: N.T.S.



BASEMENT PLAN
SCALE: 1/4"=1'-0"



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BASEMENT PLAN

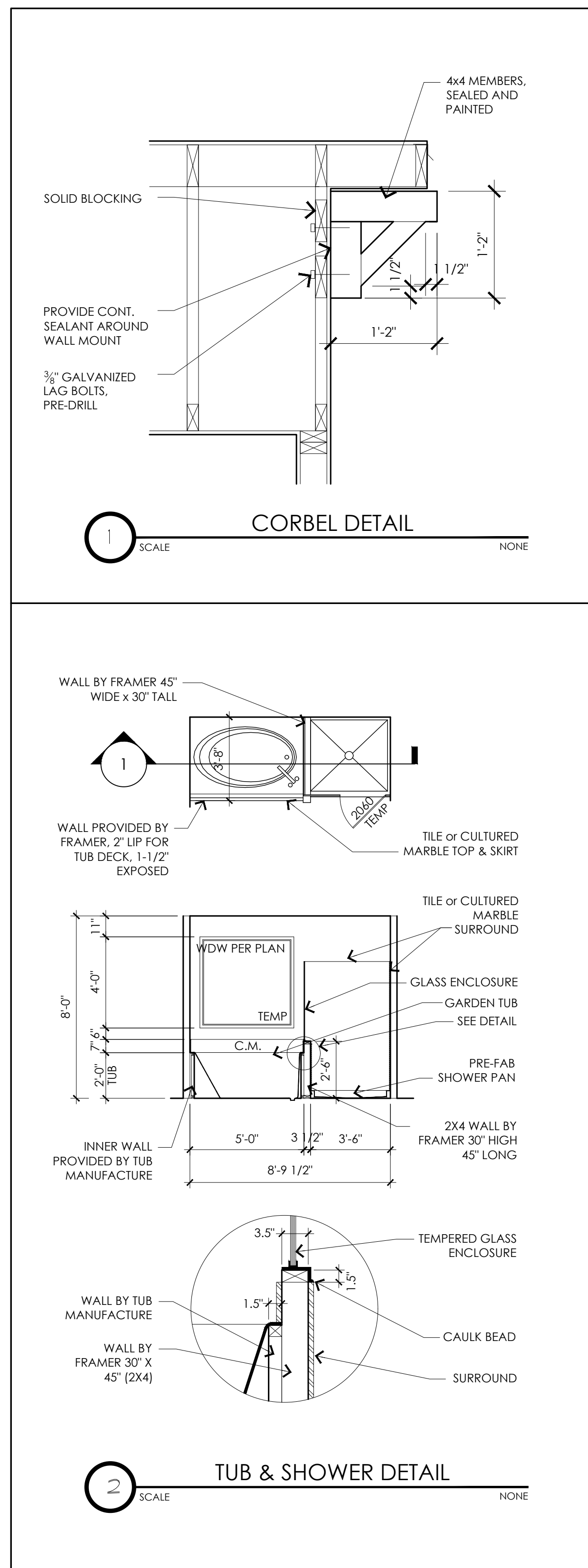
Drawn by:
MRW / MDW

Rev Date:
07/03/2023

Plan Name:
R1552-01 PLAN
GOMEZ

Release:
10/31/2019

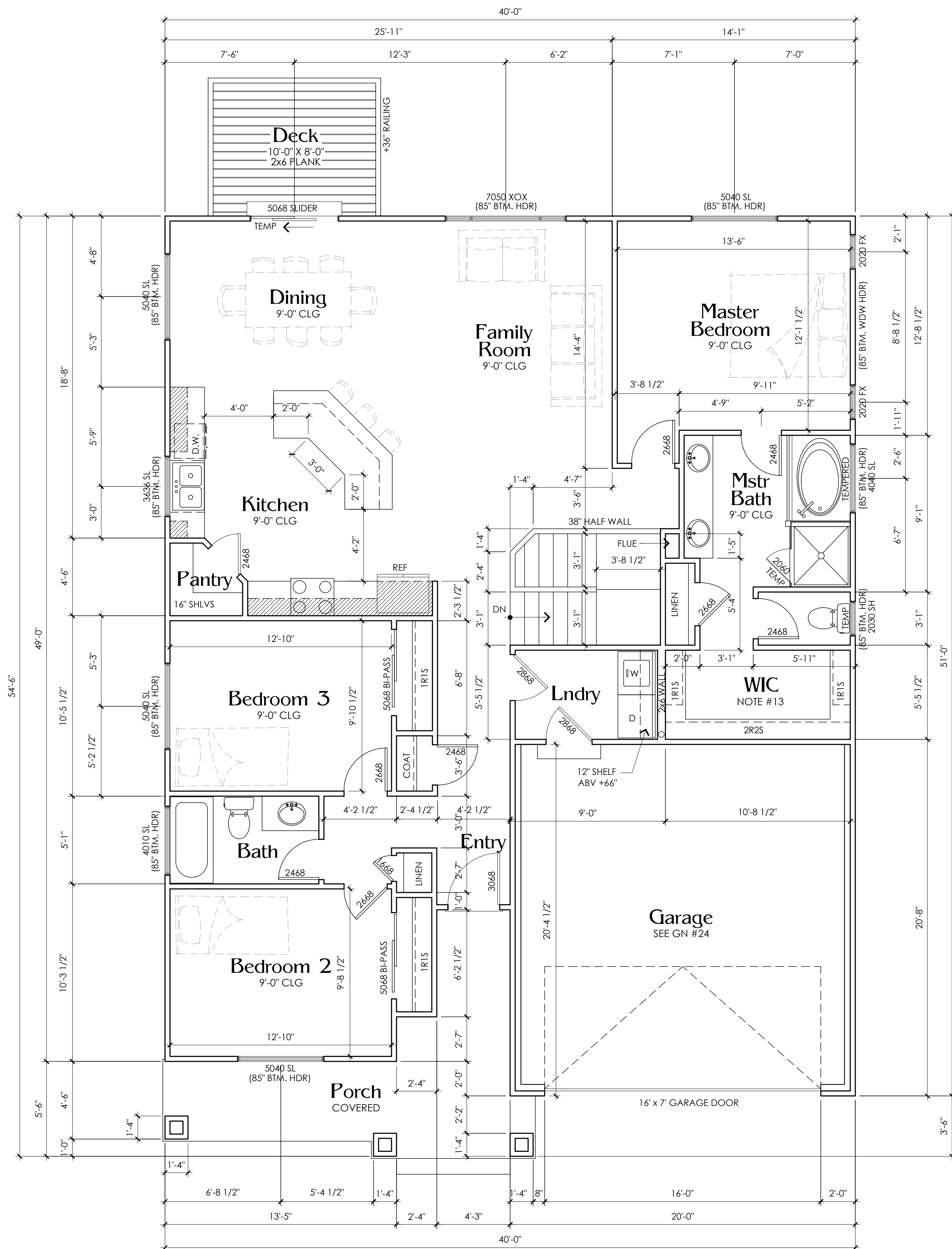
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NOTE : ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED. ALL DIMENSIONS PRESENTED HERE ARE FRAME DIMENSIONS ONLY - SEE SHT. 1.1 FOR FOUNDATION FOOTPRINT.

REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND VERIFY W/ ELEVATIONS AND CORNICE DETAILS

NOTE:
 ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.



MAIN FLOOR PLAN

SCALE: $1/4"=1'-0"$



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R1552-01 PLAN

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FLOOR PLAN

Drawn by:

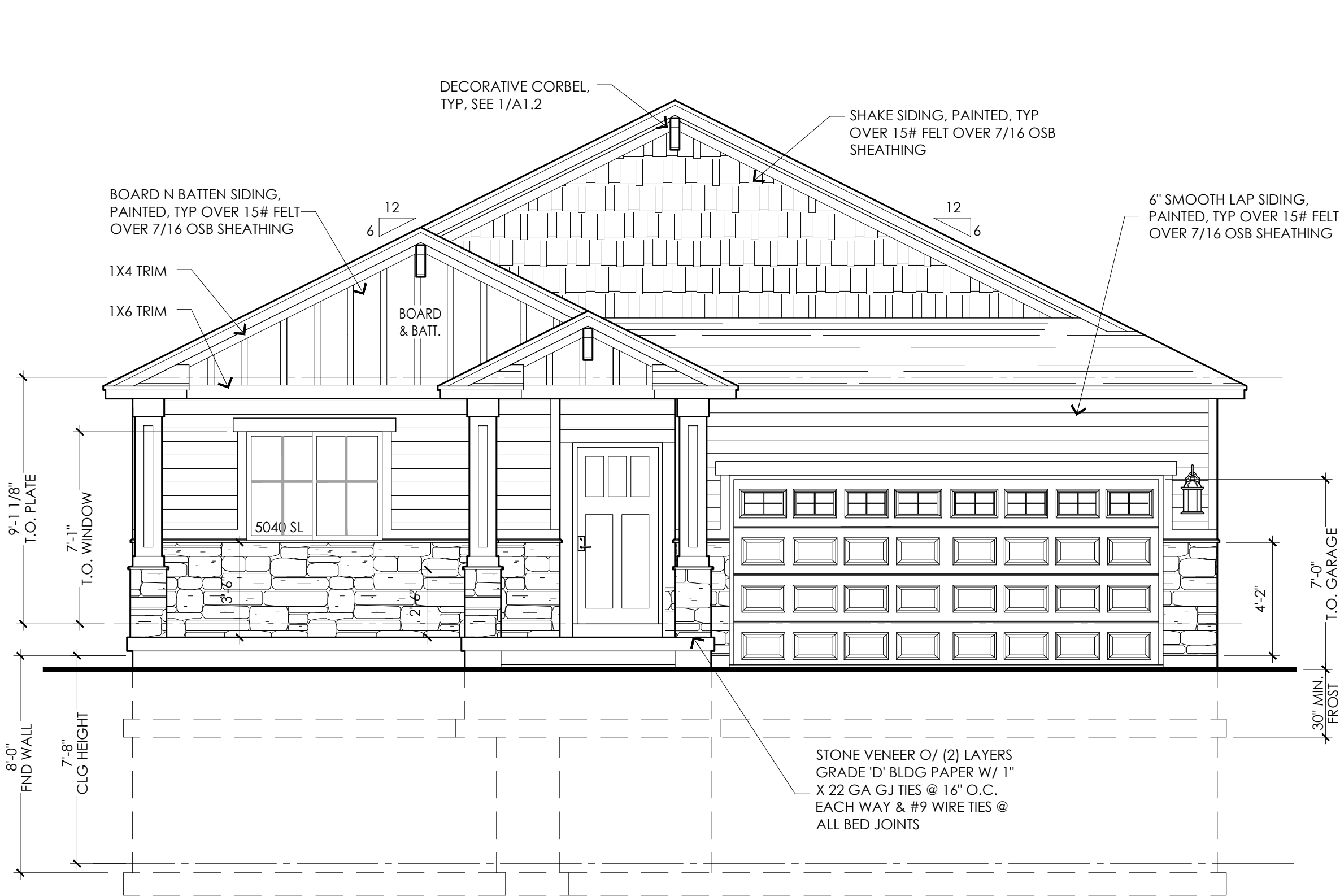
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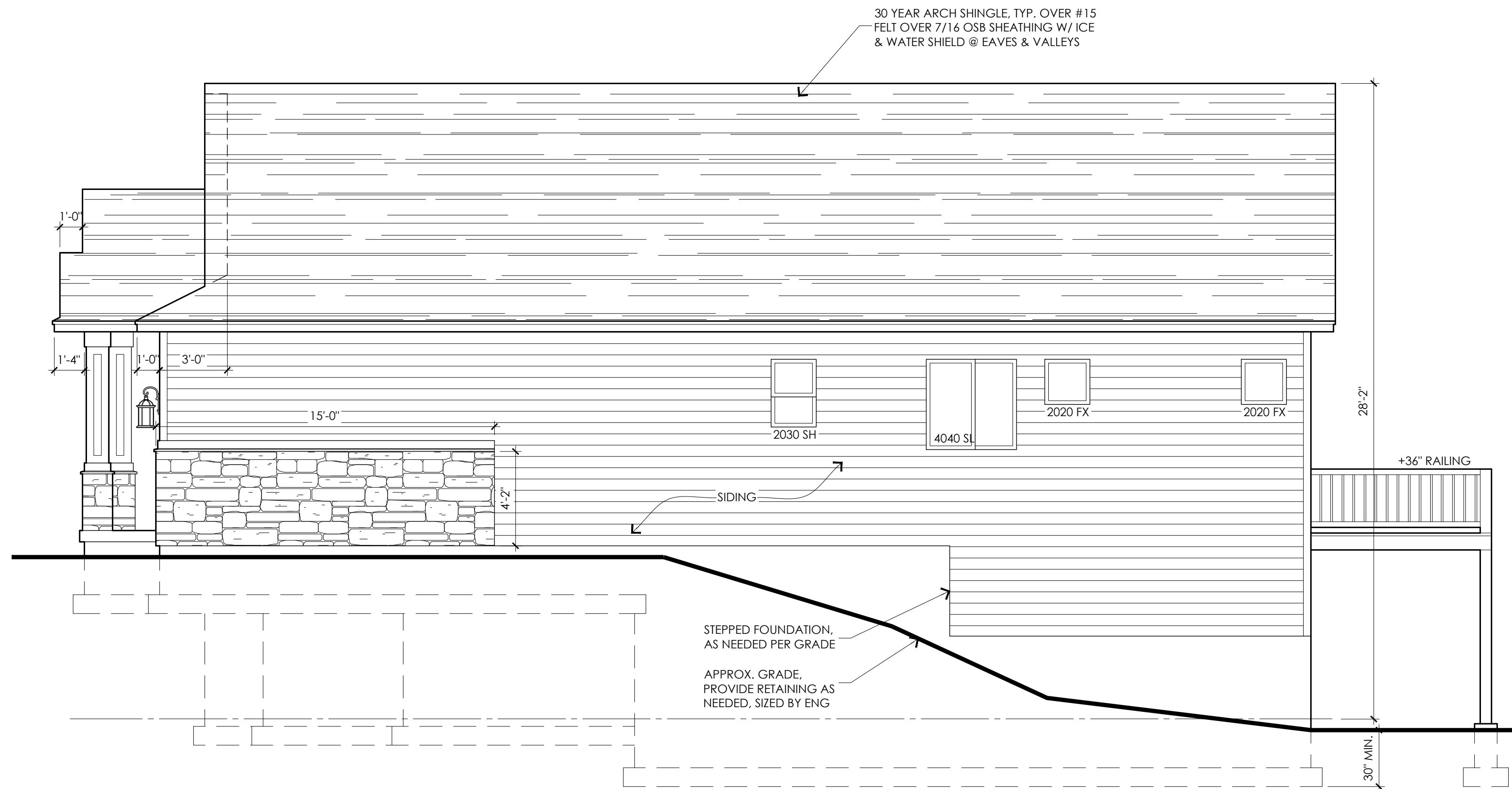
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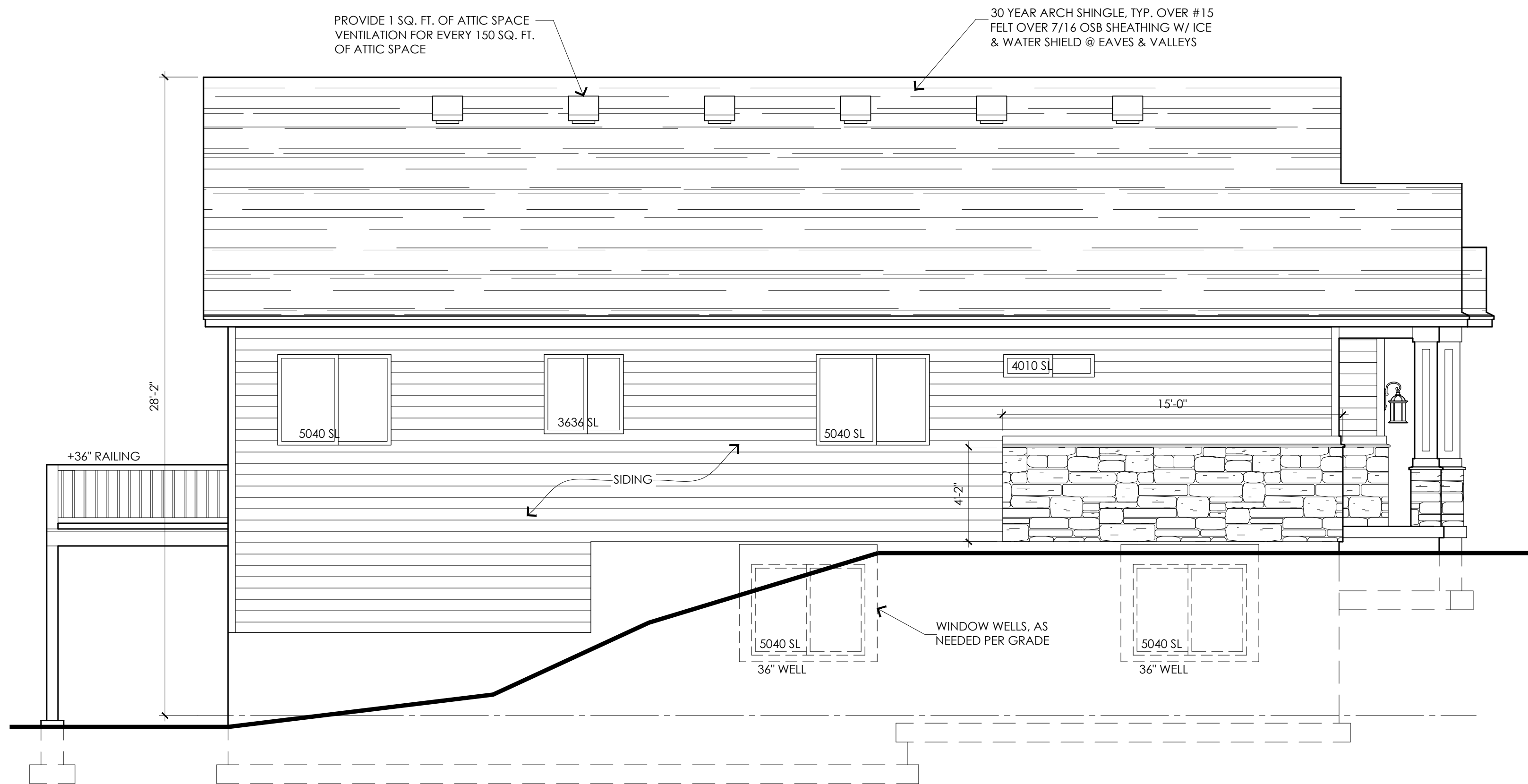
FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



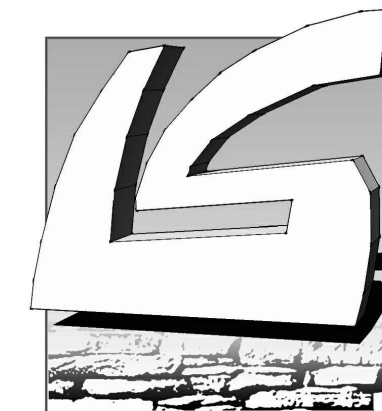
LEFT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



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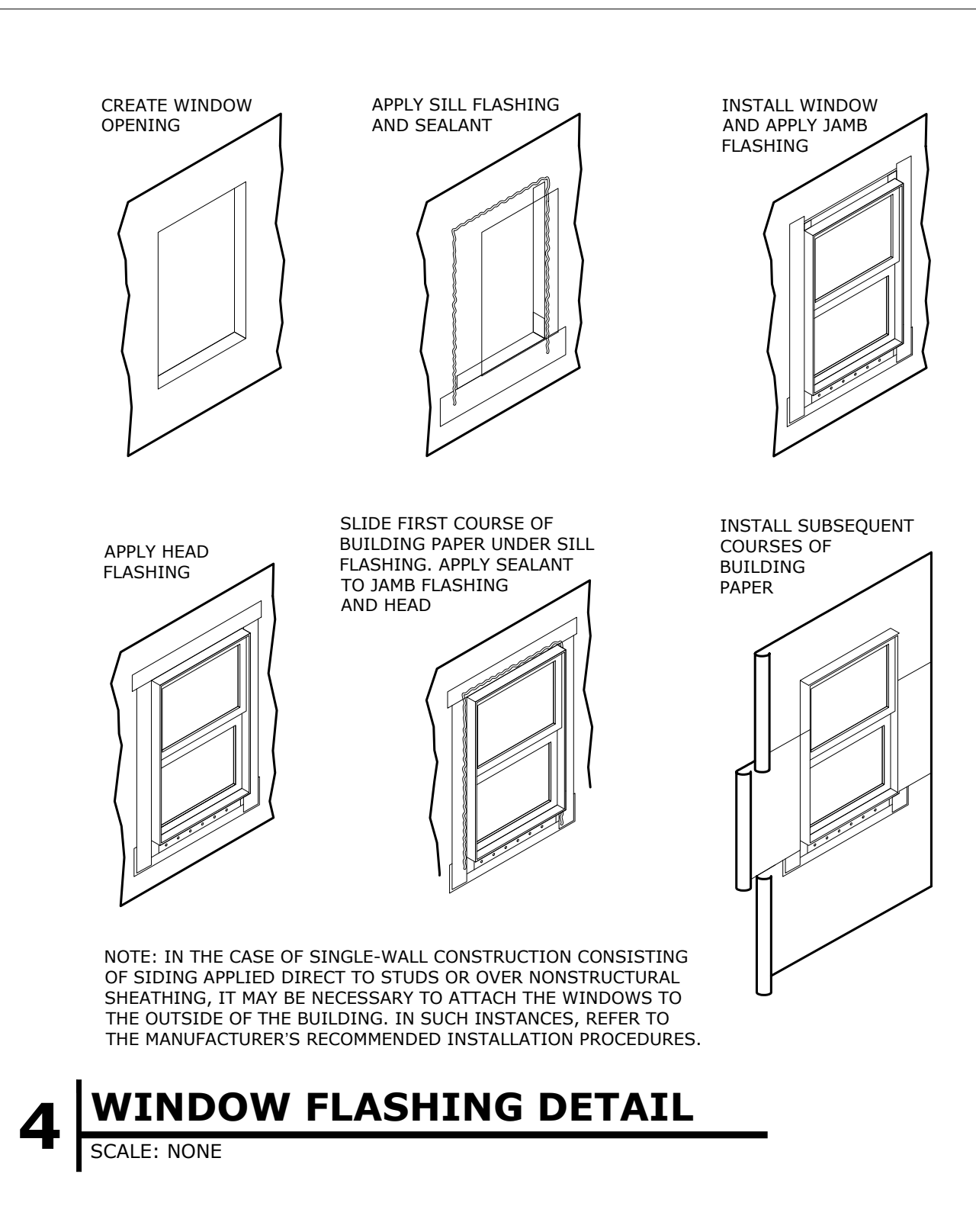
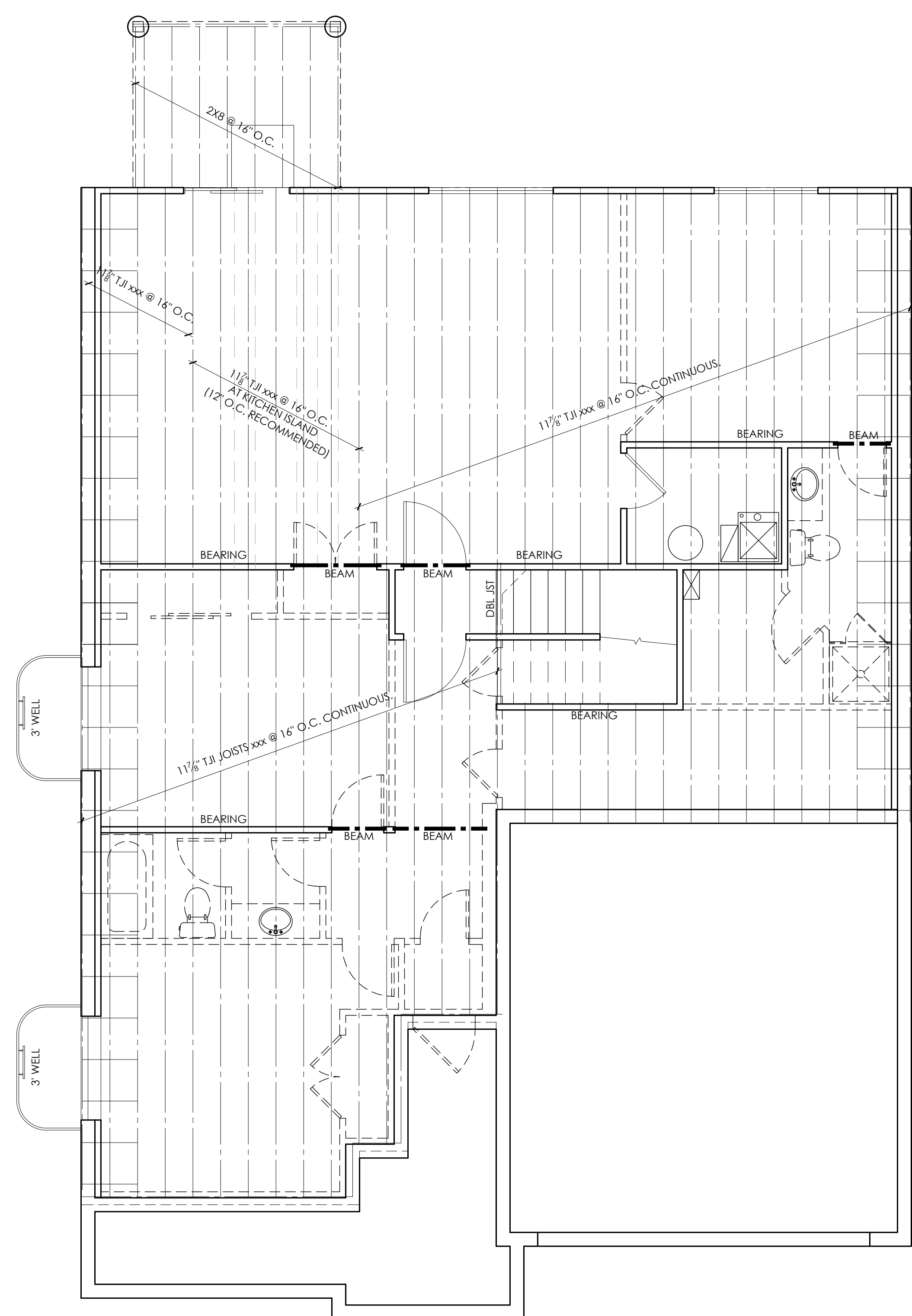
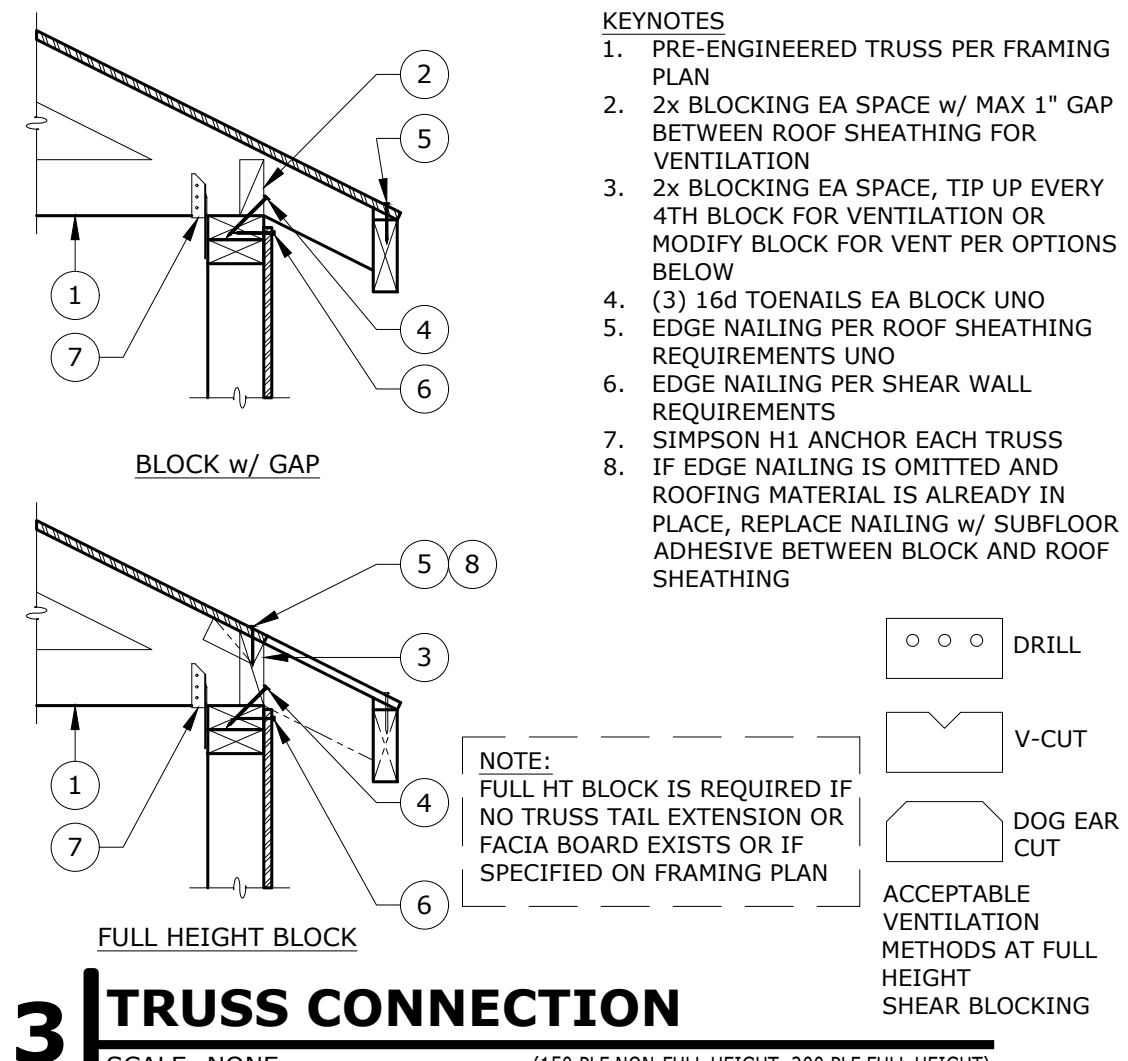
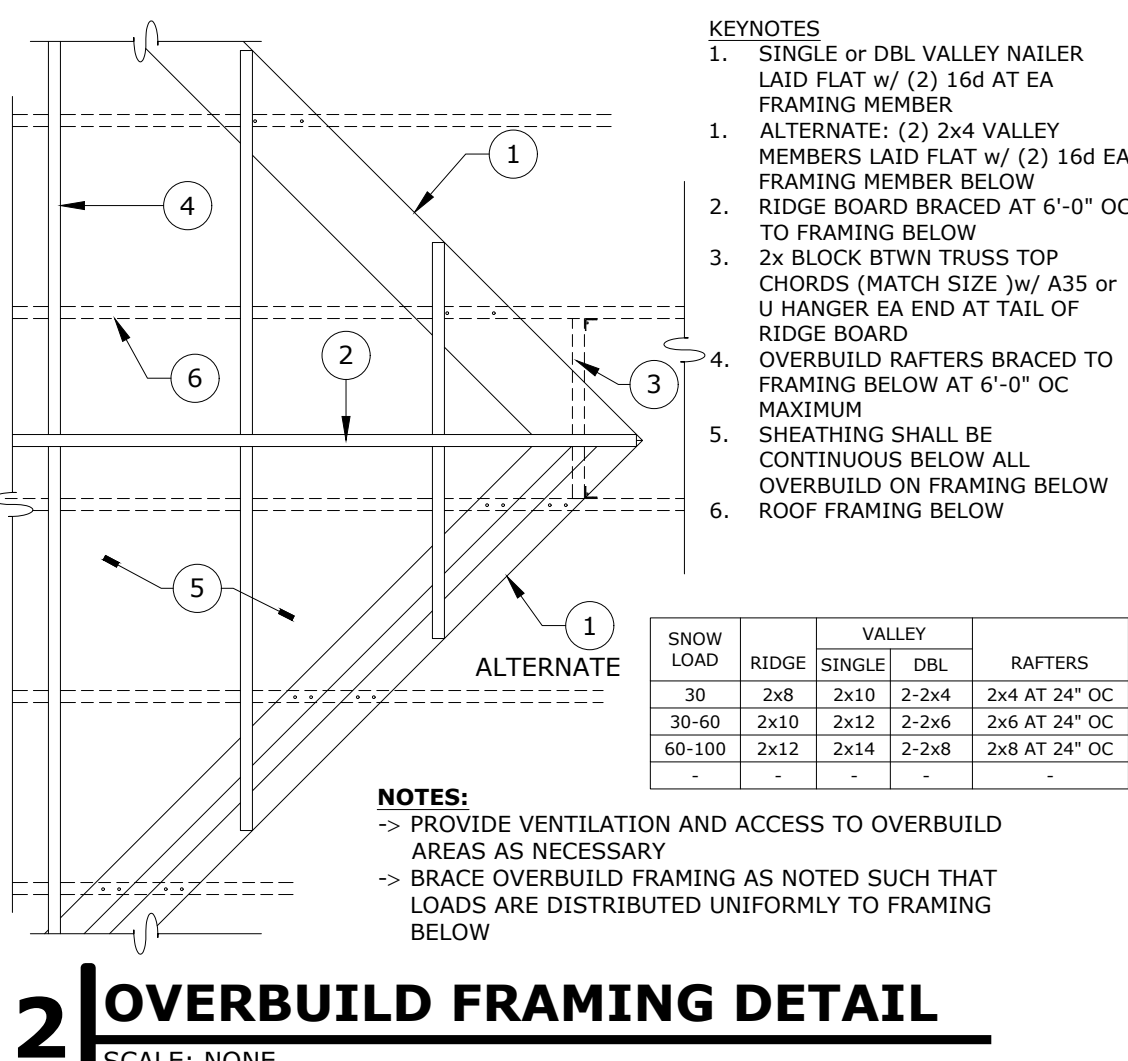
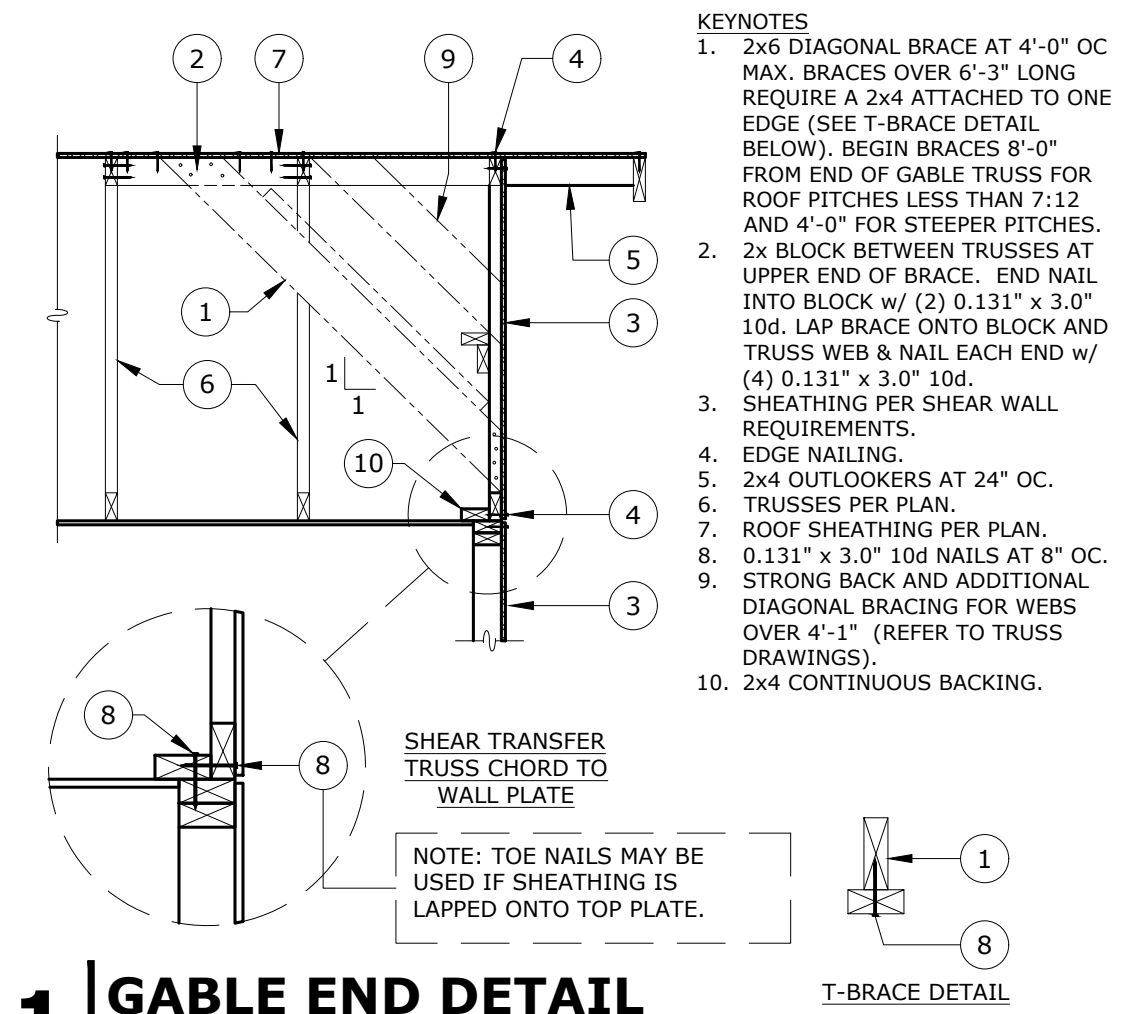
R1552-01 PLAN

3950 N Indian Cir NW
Acworth, GA 30144

ELEVATIONS

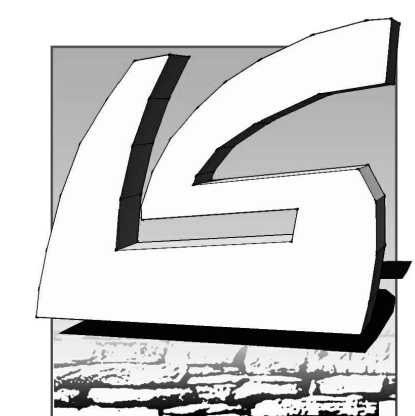
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07/03/2023
Plan Name:
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GOMEZ
Release:
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TYPICAL DETAILS
SCALE: 3/4"=1'-0"

FLOOR FRAMING
SCALE: 1/4"=1'-0"



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FLOOR FRAMING PLAN

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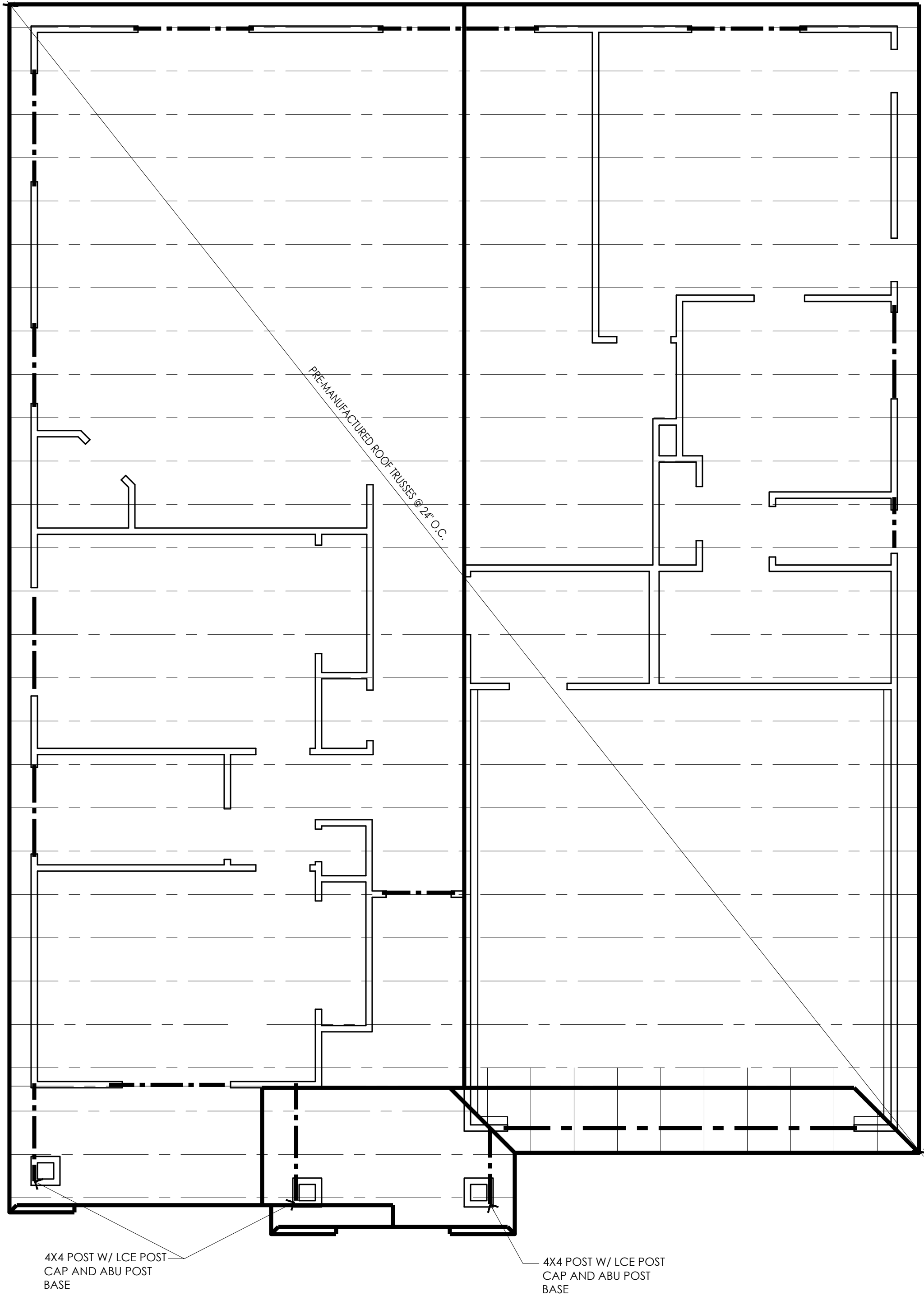
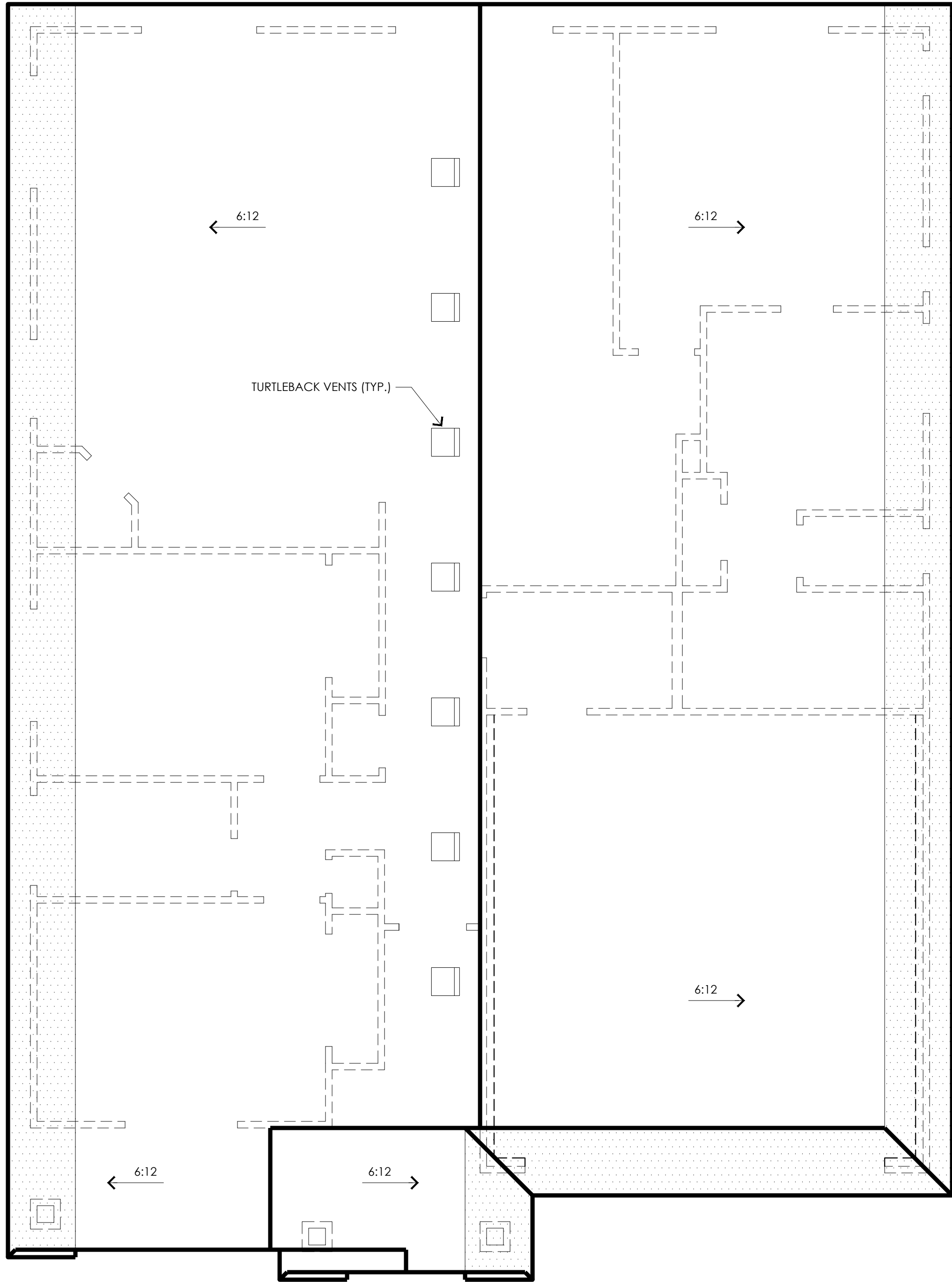
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07/03/2023

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GOMEZ**

Release:
10/31/2019

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FRAMING NOTE:
1. ALL STRUCTURAL ELEMENTS AND CONNECTIONS TO BE SIZED AND VERIFIED BY THE GENERAL CONTRACTOR/ OWNER OF THE PROPERTY. WHERE REQUIRED, A LOCAL LICENSED ENGINEER MAY BE NEEDED. ALL ATTACHMENT METHODS AND FASTENERS TO BE VERIFIED AND APPROVED AND INSTALLED TO COMPLY WITH CURRENT CODE. DETAILS PROVIDED ON THIS SHEET ARE FOR REFERENCE ONLY AND NOT MEANT TO APPLY TO ALL GEOGRAPHICAL ZONES AND CODE RESTRICTIONS.

ENERGY NOTE:
1. ALL SUPPLY AND RETURN DUCTING IN UNCONDITIONED SPACES TO BE INSULATED TO AN R-8 RATING.
2. AIR LEAKAGE COMPLIANCE IS REQUIRED PER IECC SECTION R402.4, G.C. TO PROVIDE A PASSING BLOWER DOOR TEST, WITH CERTIFICATION, AS OUTLINED IN R402.4.1.2 TESTING TABLE.
3. A PASSING DUCT BLAST TEST IS REQUIRED FOR THE DUCT SYSTEM IN THE ATTIC SPACE. RESULTS TO GIVEN TO THE FIELD INSPECTOR.
4. SEALED TRUSS PACKAGE TO BE GIVEN TO FIELD INSPECTOR.

ROOF PLAN

SCALE: 1/4"=1'-0"

ROOF VENTILATION CALCULATIONS:
ROOF AREA = 1867 S.F.
1867 / 300 = 6.2 S.F. OVERALL VENTING REQ'D
50% = 3.1 S.F. REQ'D @ RIDGE & SOFFITS
VENTS INCLUDED:
(RIDGE) = 3.1 SQ FT REQ'D
(3) TURTLEBACK VENTS = 3 S.F.
(1) 12x18 GABLE VENTS = .9 S.F.
(SOFFIT) = 3.1 SQ FT REQ'D
(8) UNDEREAVE VENT GRILLS = 3.1 S.F.
(16'x8" ALUM VENTS = .56 SQ IN)

ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"



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R1552-01 PLAN

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ROOF FRAMING PLAN

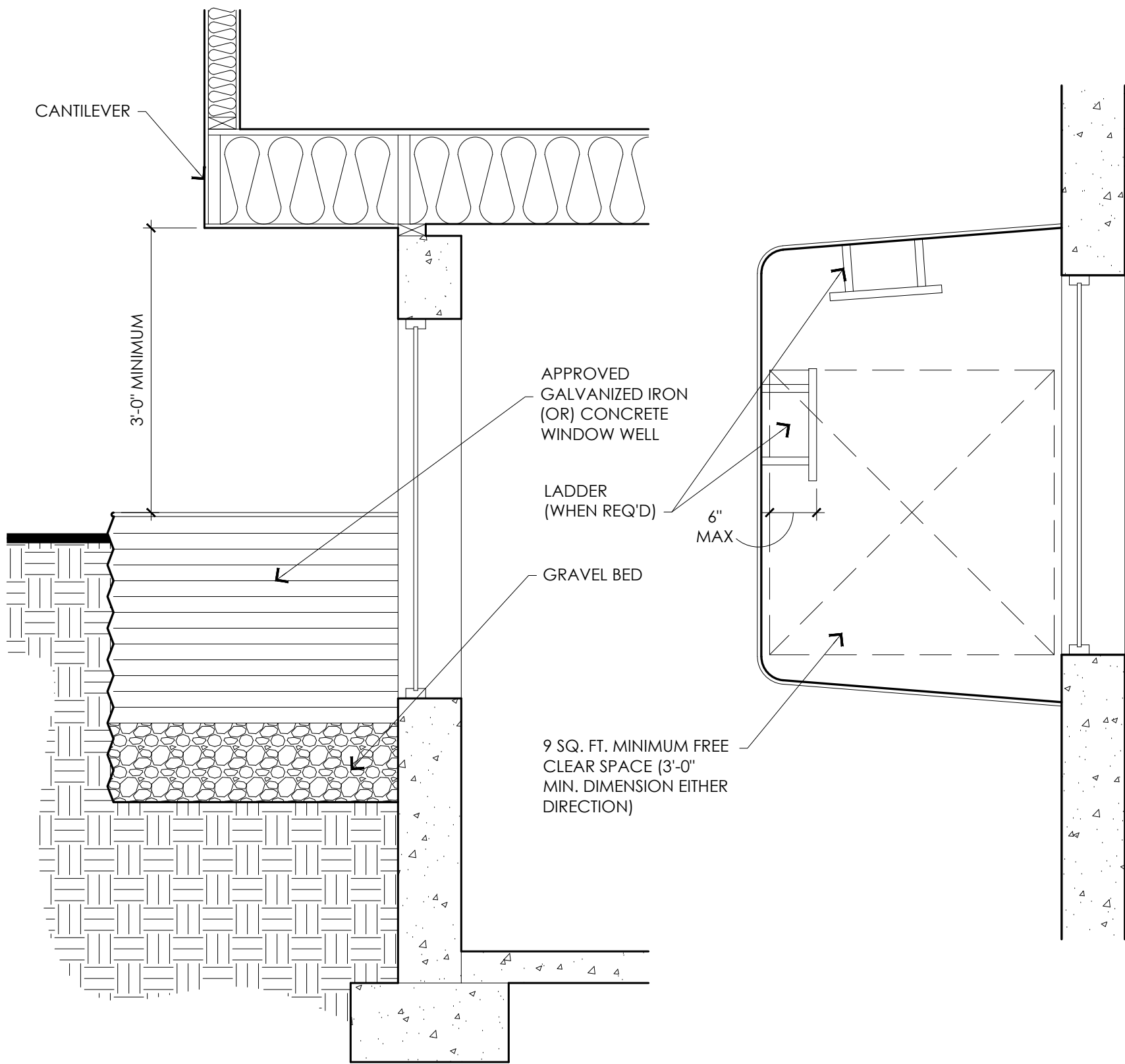
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Rev Date:
07/03/2023

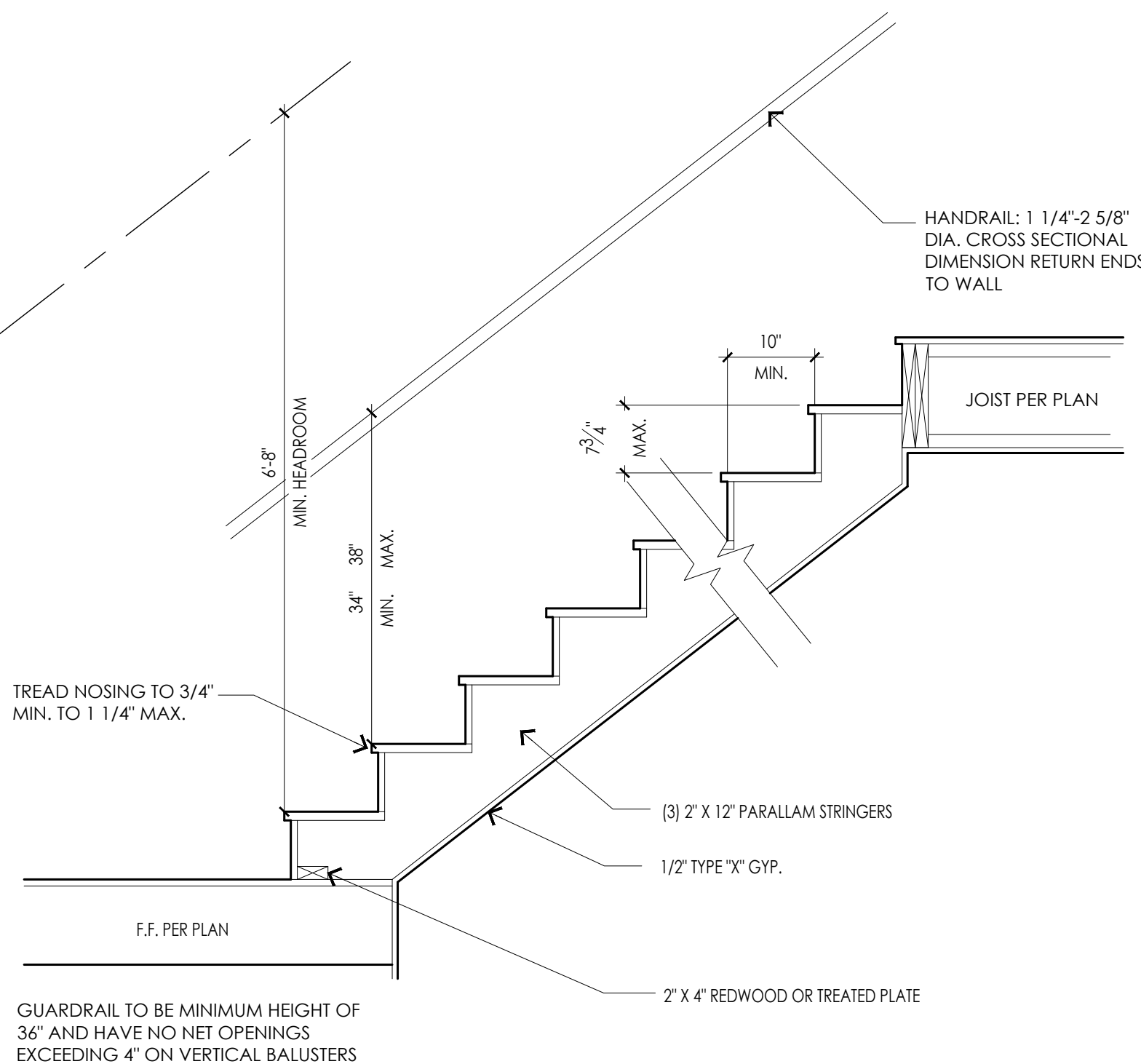
Plan Name:
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GOMEZ

Release:
10/31/2019

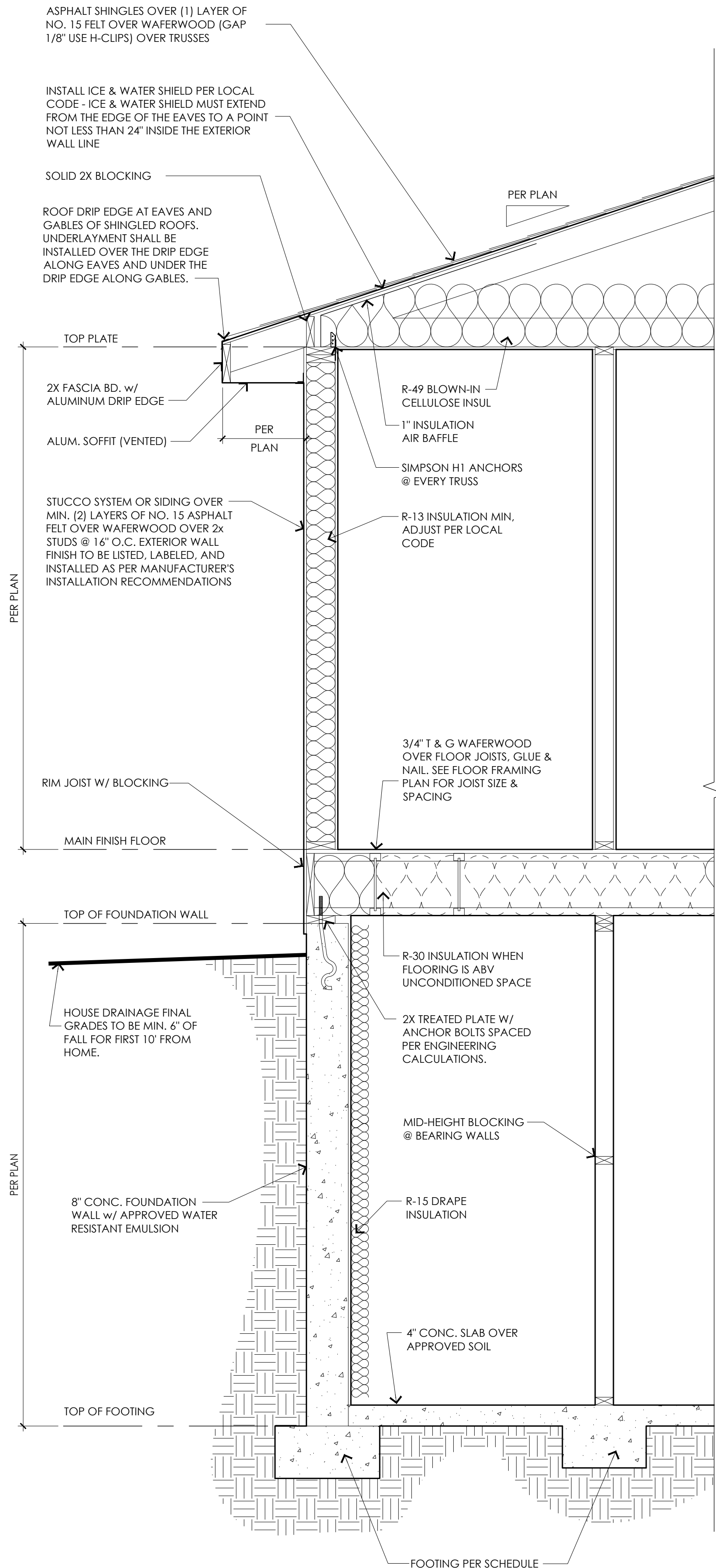
A3.2



C WINDOW WELL DTL
SCALE: 3/4"=1'-0"



B STAIR SECTION
SCALE: 3/4"=1'-0"



A CROSS SECTION
SCALE: 3/4"=1'-0"

ENGINEERING DISCLAIMER:
THESE PLANS WERE DRAWN AND DESIGNED TO BE BUILT IN THE STATE WHEREIN THEY WERE CREATED. WHERE REQUIRED BY THE PERMITTING JURISDICTION, THESE PLANS MUST BE REVIEWED, STAMPED, AND SIGNED BY A LICENSED, PROFESSIONAL STRUCTURAL ENGINEER, PRIOR TO START OF CONSTRUCTION.

DESIGNER ASSUMES NO RESPONSIBILITY FOR BEAM SIZES, FOOTING SIZES, REBAR SIZE AND PLACEMENT, SHEER WALLS, FOUNDATION STRAPS, ETC. WHEN A STRUCTURAL ENGINEER IS NOT REQUIRED OR ENGAGED, IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR OWNERS BUILDER TO PROPERLY SIZE STRUCTURAL ITEMS LISTED ABOVE ACCORDING TO PRESCRIPTIVE DESIGN IN THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE.

CLIENT/BUILDER TO REVIEW PLANS FOR ANY ERRORS OR OMISSIONS, AND SHALL NOT HOLD THE DESIGNER LIABLE FOR ANY PART OF THE CONSTRUCTION DOCUMENTS OR CONSTRUCTION DRAWINGS. ANY ERRORS OR OMISSIONS TO BE BROUGHT TO THE DESIGNERS ATTENTION, IN WRITING, PRIOR TO ANY WORK BEING PERFORMED. ALL SPECIFICATIONS, DETAILS, & DIMENSIONS MUST BE VERIFIED BY CLIENT/BUILDER BEFORE THE START OF CONSTRUCTION

THE BUILDING DESIGNS DEPICTED HEREIN ARE THE SOLE PROPERTY OF LEDGESTONE HOME DESIGN LLC AND MAY NOT BE CONSTRUCTED OR USED WITHOUT ITS EXPRESS WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE BUILDING DESIGNS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERY OF PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE LEDGESTONE HOME DESIGN LLC AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY OTHER REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE BUILDING DESIGNS DEPICTED IS PROHIBITED.

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R1552-01 PLAN

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TYPICAL SECTIONS

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07/03/2023
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R1552-01 PLAN

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ELECTRICAL PLANS

Drawn by:

MRW / MDW

Rev Date:

07/03/2023

Plan Name:

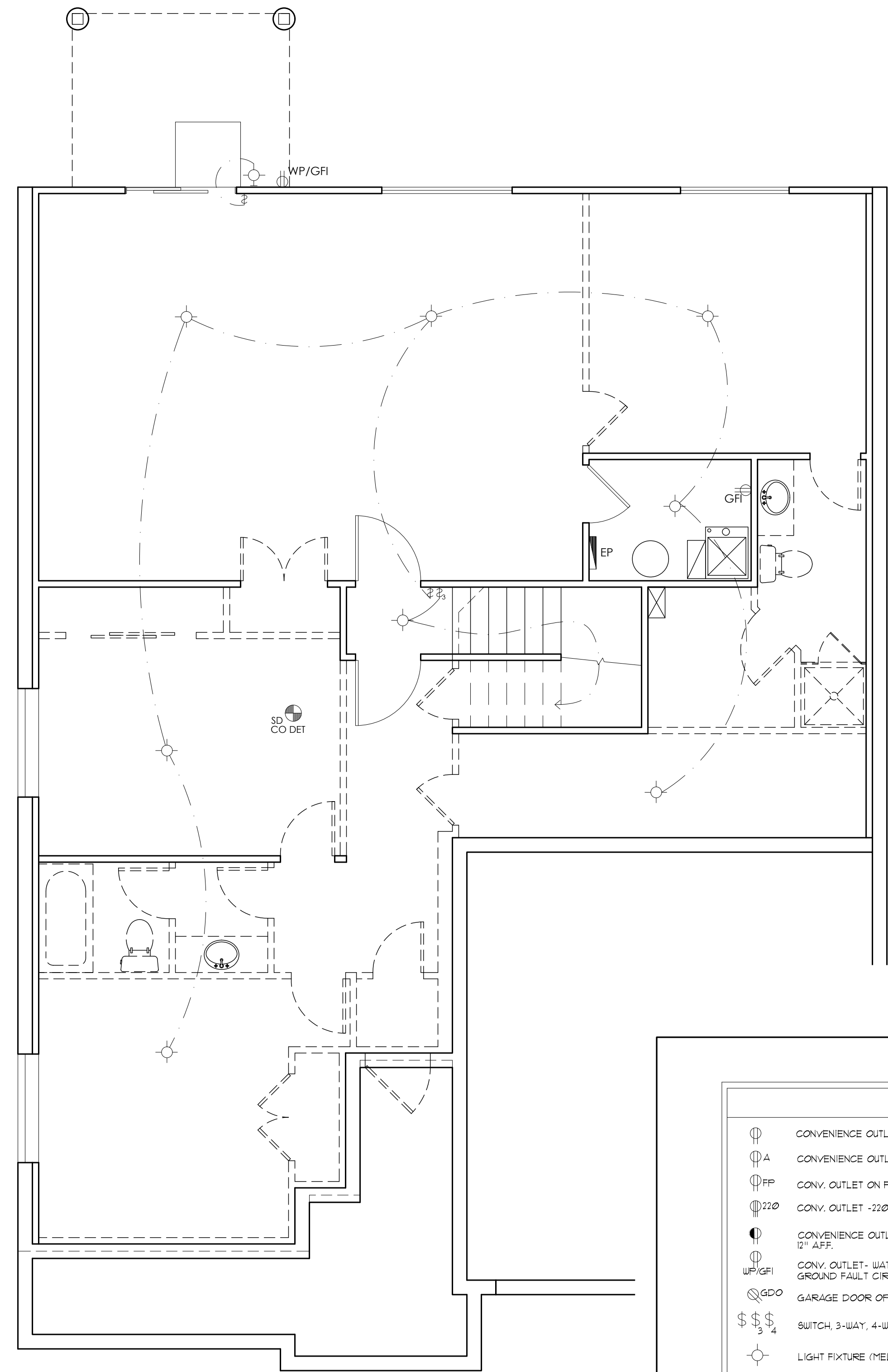
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Release:

10/31/2019

E1.1



MECHANICAL NOTE:

EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 m³/s) SHALL BE MECHANICALLY OR NATURALLY PROVIDED W/ MAKEUP AIR AT A RATE OF APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED W/ NOT LESS THAN ONE DAMPER. EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIRED OR REPLACED.

ELECTRICAL PLANS

SCALE:

1/4"=1'-0"

ELECTRICAL SYMBOLS

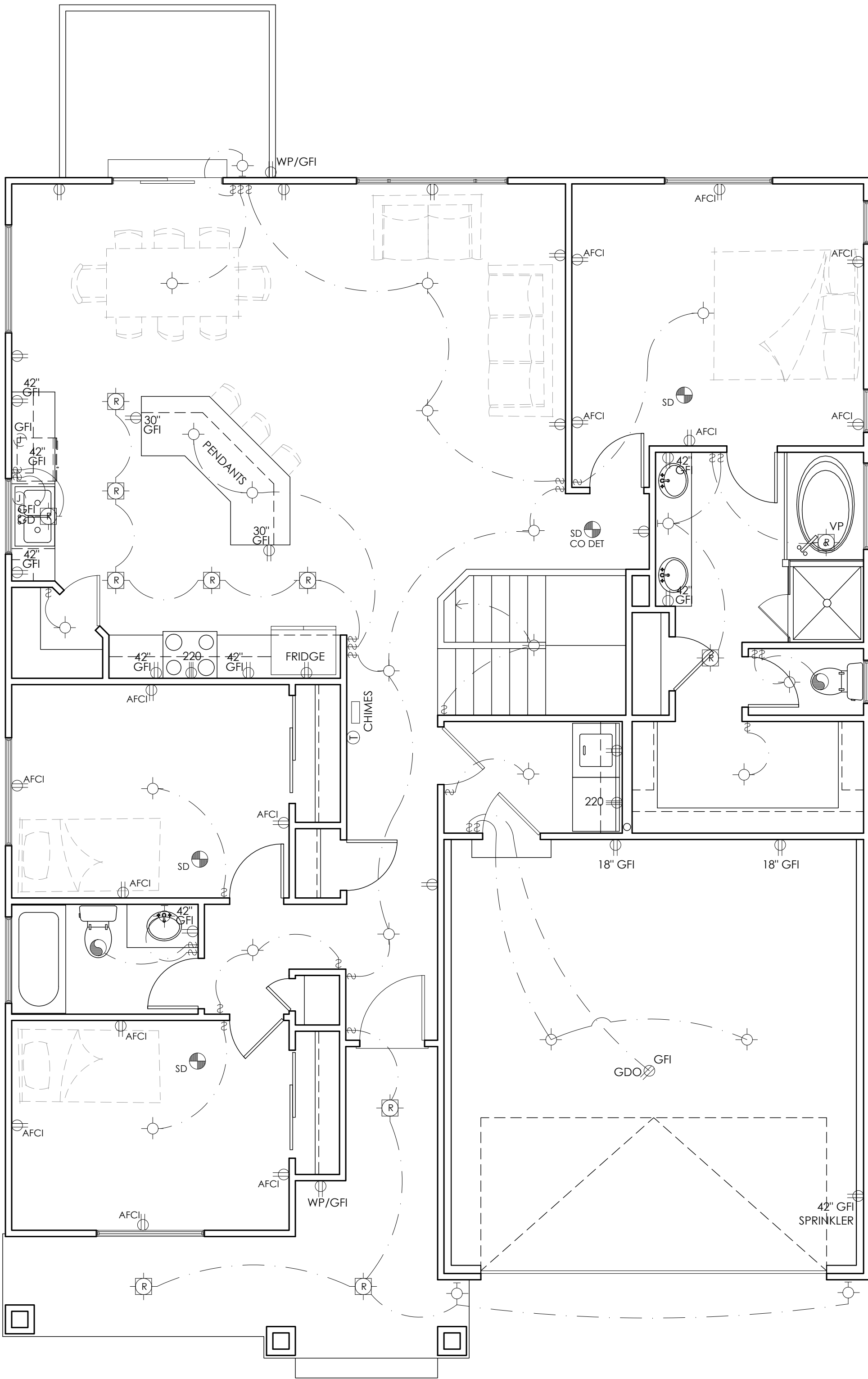
	CONVENIENCE OUTLET - 96T 12" AFF UNO.		TELEPHONE OUTLET - 12" AFF.
	CONVENIENCE OUTLET - 42" AFF		T.V. OUTLET - 12" AFF.
	CONV. OUTLET ON FLOOR		INDICATES SMOKE DETECTOR-TO BE WIRED IN SERIES WITH BATTERY BACK-UP, CARBON MONOXIDE DET
	CONV. OUTLET - 220 VOLT		EXHAUST FAN (VENT TO EXT.)
	CONVENIENCE OUTLET - 12" SWITCHED 12" AFF.		ELEC. METER
	CONV. OUTLET - WATER PROOF - GROUND FAULT CIRCUIT INTERRUPT		GAS METER
	GARAGE DOOR OPENER OUTLET, ABV		ELECTRIC PANEL
	SWITCH, 3-WAY, 4-WAY - 96T 38" AFF UNO.		CEILING FAN
	LIGHT FIXTURE (NELSON/ FLUSH), CLG MOUNTED		FLUORESCENT LIGHT
	LIGHT FIXTURE (DISK), CEILING MOUNTED		LOW-VOLT COMBO BOX/ CONDUIT
	LIGHT FIXTURE (HANGING), CEILING MOUNTED		JUNCTION BOX - DISH WASHER
	LIGHT FIXTURE, WALL MOUNTED (NT/EXT)		THERMOSTAT
	LIGHT FIXTURE, FLOOD LIGHT		WEATHER PROOF
	RECESSED LIGHT FIXTURE		VAPOR PROOF FIXTURE
			ROPE LIGHT AT TOE KICK

NOTES:

1. 12" MIN. CLEARANCE TO SHELVES & CLOSET LIGHT FIXTURES
2. PROVIDE ARC FAULT CIRCUIT INTERRUPTER PROTECTION IN ALL BEDROOMS.
3. WP/GFI OUTLET TO BE LOCATED NO GREATER THAN 25'-0" FROM A/C UNIT.
4. PROVIDE WATER-PROOF BUBBLE COVERS ON ALL EXTERIOR OUTLETS.
5. THE DINING, BREAKFAST NOOK, PANTRY (IF SHOWN) AND OTHER SIMILAR AREAS ARE TO BE SERVED BY A SMALL APPLIANCE CIRCUIT.
6. LAUNDRY ROOM TO BE SERVED BY DEDICATED CIRCUITS.
7. ALL 3-20amp RECEPTACLES TO BE TAMPER PROOF, TYP.
8. GFI'S NOT TO BE USED FOR FRIDGES OR FREEZERS.
9. KITCHENS TO BE SUPPLIED BY 2 OR MORE 20 AMP CIRCUITS.
10. PROVIDE HIGH EFFICIENCY LAMPS IN A MIN. OF 75% OF PERMANENTLY INSTALLED LIGHT FIXTURES PER NIOSA (184241) LIGHTING EQUIPMENT.
11. GFI/ GFCI + GROUND FAULT CIRCUIT INTERRUPTER.
12. SMOKE DETECTORS REQUIRED AS PER IRC R314, CARBON MONOXIDE DET. PER IRC R315.

VENTING NOTE:

1. PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AND WATER HEATERS, ONE DUCT WITH 12" OF CEILING AND 912" 1 SQUARE INCH PER 3000 TOTAL BTU INPUT OF ALL APPLIANCES, PER G 2407.6.2





CAMPAIGN DISCLOSURE REPORT¹ BY APPLICANT²

A separate form must be completed by each applicant).

Has the applicant made, within two (2) years immediately preceding the filing of this application for rezoning, campaign contributions aggregating two hundred fifty dollars (\$250.00) or more or made gifts having in the aggregate a value of two hundred fifty dollars (\$250.00) or more to a member or members of the Mayor and Council or Planning Commission who will consider the application? **Answer Yes or No:** NO

If "Yes," the applicant and the attorney representing the applicant must file a disclosure report with the Mayor and Council of the City of Kennesaw within ten (10) days after this application is first filed.

Please supply the following information that will be considered as the required disclosure:

The name of the member(s) of the Mayor and Council or Planning Commission to whom the campaign contribution or gift was made:

The dollar amount of each campaign contribution made by the applicant to the member(s) of the Mayor and Council or Planning Commission during the two (2) years immediately preceding the filing of this application and the date of each such contribution:

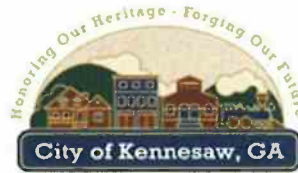
An enumeration and description of each gift having a value of two hundred fifty dollars (\$250.00) or more made by the applicant to the member(s) of the Mayor and Council or Planning Commission during the two (2) years immediately preceding the filing of this application:

I certify that the foregoing information is true and correct, this 18 day of JULY, 2023

[Signature]
Applicants Signature

¹ If the answer to any of the above is "Yes," then the member of the Mayor and Council or Planning Commission must immediately disclose the nature and extent of such interest, in writing, to the Mayor and Council of the City of Kennesaw, Georgia. A copy should be filed with this application. Such disclosures shall be a public record and available for public inspection at any time during normal working hours.

² Applicant means any person who applies for a rezoning action and any attorney or other person representing or acting on behalf of a person who applies for a rezoning action.



PLEASE TAKE NOTICE

That the undersigned has applied to the Planning Commission and Mayor and Council of the City of KENNESAW for the following:

To reduce the minimum lot size requirement for the R-15 zoning district from 15,000 SQFT to 11,999 SQFT

The property referred to is located at:

2407 Pine Drive (Parcel Number 20016600640)

and is within a 200-foot radius of your property. It is described as Land Lot 166 20th District, 2nd Section, Tax Parcel 64 in the City of Kennesaw.

The said application will come up for hearing before the Planning Commission on 9-6-2023 at 6:30 p.m., and the Mayor and Council on 9-18-2023, at 6:30 p.m. in the City Hall Council Chambers, 2529 J.O. Stephenson Avenue, Kennesaw, Georgia. You may appear in person or by attorney and may present any objections, which you may have to the granting of this request. All documents relating to this application are enclosed for your review. The applicant, by order of the Planning Commission, Mayor and Council, sends this notice to you.

Dated

7-18-23

City of KENNESAW

Signed, owner, applicant



CERTIFICATION AUTHORIZATION

I hereby attest to the fact that a certified mailing to property owners within 200 feet was sent out on or before August 18, 2023 in accordance with the application requirements.

7-18-23

Date



[Signature]

Applicant or Authorized Agent

Sworn and subscribed before me this 18th day of July 20 23

Samantha Rainey

Notary Public

Section 1909, Part 4 Standards for Decisions – Variances

Zoning Variances may be granted in such individual cases of practical difficulty or unnecessary hardships as follows:

	COMMENTS
There is extraordinary and exceptional conditions pertaining to the particular piece of property in question because of its size, shape or topography.	SIZE
The application of this chapter to this particular piece of property would create practical difficulty or unnecessary hardship.	NO
Such conditions are peculiar to the particular piece of property involved.	this lot is comparable to other lots in the neighborhood
Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of this chapter.	NO


Rebecca Keaton
Clerk of Superior Court Cobb Cty. Ga.

Please return to PERRIE & ASSOCIATES, LLC - Post Closing
100 Galleria Pkwy, Suite 1170
Atlanta, Ga 30339
File # 180428KW

STATE OF Georgia
COUNTY OF Cobb

LIMITED WARRANTY DEED

THIS INDENTURE, made on **March 29th, 2018**, between

AMANDA VANWINKLE

(hereinafter referred to as "Grantor") and

JOSE GOMEZ

as Joint Tenants with Rights of Survivorship

(hereinafter referred to as "Grantee"), the words "Grantor" and "Grantee" to include the heirs, executors, legal representatives, successors and assigns of said parties where the context requires or permits; WITNESSETH:

THAT Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) AND OTHER GOOD AND VALUABLE CONSIDERATIONS, in hand paid, at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged by Grantor, has granted, bargained, sold and conveyed, and by these presents does grant, bargain, sell and convey unto Grantee,

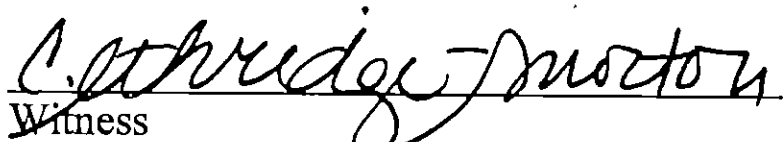
See Exhibit "A" attached hereto and made a part hereof

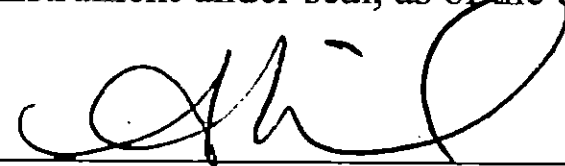
TOGETHER WITH all and singular the rights, members and appurtenances thereto, to the same being, belonging, or in anywise appertaining (hereinafter collectively referred to as the "Premises").

TO HAVE AND TO HOLD the Premises, subject to the Exceptions, to the only proper use, benefit and behoof of Grantee, forever, in FEE SIMPLE, and Grantor will, subject to the Exceptions, warrant and forever defend the right and title to the Premises unto Grantee against the claims of all person claiming by, through or under Grantor, but not otherwise.

IN WITNESS WHEREOF, Grantor has executed this instrument under seal, as of the date first above written.

Signed, sealed and delivered in the presence of:


Witness


AMANDA VANWINKLE (Seal)

(Seal)

(Seal)

(Seal)


Notary Public
My commission expires

[Attach Notary Seal]

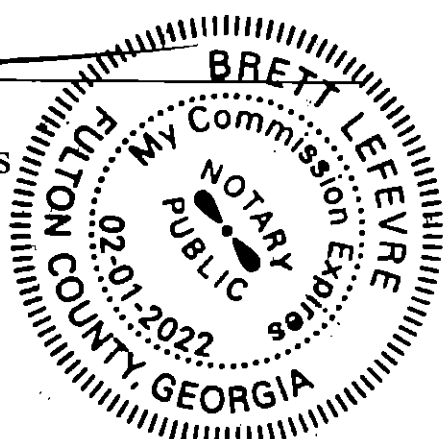


EXHIBIT "A"
LEGAL DESCRIPTION

All that tract or parcel of land lying and being in Land Lot 166 of the 20th District, 2nd Section of Cobb County, Georgia, being Lot 22 of Kennesaw Woodland Acres Subdivision, as per plat recorded in Plat Book 15, Page 82, Cobb County, Georgia, Records, which plat is incorporated herein and made a part hereof by reference for a more detailed description.

This deed is subject to restrictive covenants and easements of record.

Perrie & Associates, LLC - Post Closing
100 Galleria Pkwy., Suite 1170
Atlanta, GA 30339
(770) 579-2700
Facsimile (404) 214-6677

May 4, 2018

JOSE GOMEZ
3950 N INDIAN CIRCLE
KENNESAW, GA 30144

Re: 0 WOODLAND DRIVE, KENNESAW, GA 30152
Our File No: 180428KW

Dear JOSE GOMEZ :

I am enclosing the following documents regarding your recent closing:

- ☒ Original recorded Warranty Deed;
- ☐ Original Owner's Title Insurance Policy or Endorsement;
- ☐ Original recorded Quitclaim Deed;
- ☐ Original recorded Power of Attorney
- ☐ Survey;
- ☐ Other _____

Please remember that it is your responsibility to file a claim for homestead exemption if you are occupying the property. Please contact your county's tax commissioner for further information. If you do not file, you may be subject to penalties and the tax bill you receive will be higher than expected.

We enjoyed working with you on your closing. If, in the future, you, your friends or your associates need the services of a real estate closing attorney, we hope that you will ask the lender and/or real estate agent to have our firm handle your closing.

We appreciate your business. If this firm can be of further assistance in any way, please do not hesitate to call.

Sincerely,

PERRIE & ASSOCIATES, LLC

Post-closing Department

[Signature]
Witness

[Signature]
Notary Public
My commission expires

[Attach Notary Seal]



(Seal)

(Seal)

(Seal)



Printed: 7/14/2023

Cobb County Online Tax Receipt

Thank you for your payment!

CARLA JACKSON TAX COMMISSIONER
HEATHER WALKER CHIEF DEPUTY
Phone: 770-528-8600
Fax: 770-528-8679

Payer:
GOMEZ DRYWALL INC

GOMEZ JOSE

Payment Date: 9/20/2022

Tax Year	Parcel ID	Due Date	Appeal Amount		Taxes Due
2022	20016600640	10/15/2022	Pay:	N/A or	\$0.00
Interest	Penalty	Fees	Total Due	Amount Paid	Balance
\$0.00	\$0.00	\$0.00	\$0.00	\$242.80	\$0.00



Scan this code with your
mobile phone to view
this bill!!



City of Kennesaw
PROPERTY TAX DIVISION
2529 J. O. STEPHENSON AVE
KENNESAW, GA 30144-2780
(770) 429-4542

2022 Property Tax Bill

Parcel ID	Tax District	Bill #
20016600640	3/3-BOND - KENNESAW CITY	237296
Property Owner/Location/Description		Taxable Value
GOMEZ JOSE WOODLAND DR		8,000
		Fair Market Value
		20,000
Levies	Taxable Value	- Exemptions = Net Assessment X Tax Rate = Net Tax
BOND	8,000	0 8,000 1.5000000000 \$12.00
CITY OF KENNESAW	8,000	0 8,000 8.0000000000 \$64.00

Exemptions:

Per House Bill 960, to arrive at the property tax interest rate, divide 10.5% by 12, which equals .875%. This interest rate will continue to accrue on a monthly basis, based on an annual calculation of Federal Prime Rate (7.5%) plus 3%. Penalty will accrue at 5% after 120 days with an additional 5% assessed after each successive 120 days to a maximum of 20% of the principle amount due (House Bill 960). Payments can be made online at www.municipalonlinepayments.com/kennesawga, in person, by mail or via our dropbox. Tax bills are mailed annually on October 1, with a due date of December 1. Any questions concerning ownership changes or change of address should be directed to Cobb County Tax Commissioner's Office. For all other questions or concerns regarding this statement, give us a call at 770-429-4542.	Current Year Tax	\$76.00
	Interest	\$0.00
	Penalty	\$0.00
	Other Fees	\$0.00
	Payments Received	\$76.00
	Other Amounts Due	\$0.00
	Total Due	\$0.00
Due Date		12/01/2022



City of Kennesaw
PROPERTY TAX DIVISION
2529 J. O. STEPHENSON AVE
KENNESAW, GA 30144-2780

*Please make check or Money Order Payable to :
City of Kennesaw Property Tax Division and
include the Parcel ID on your check.*

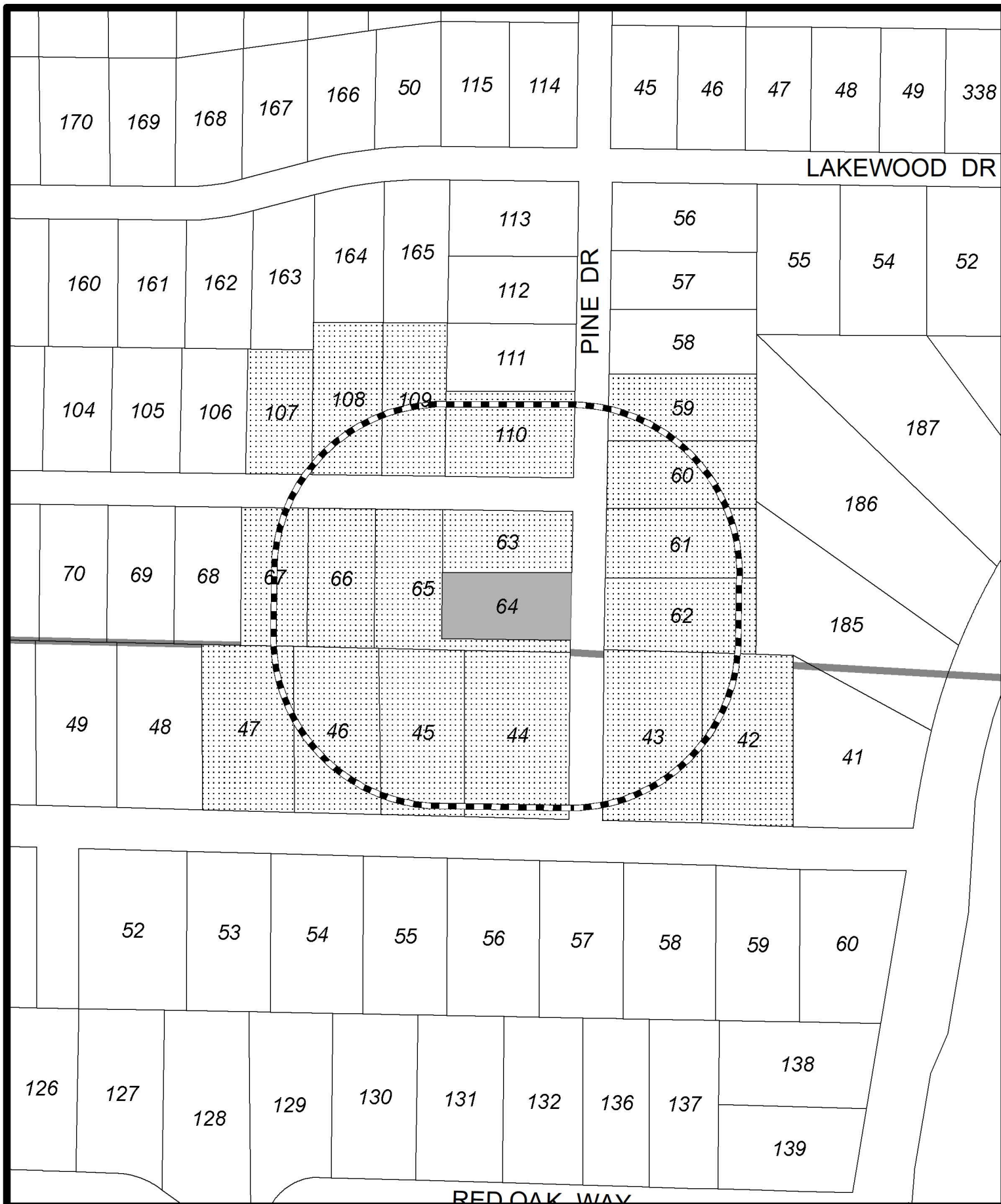
*For your convenience, you may pay by check,
money order, Discover, Mastercard, AMEX,
VISA.
3% fee and \$3.50 per transaction fee added to
debit/credit card payments. \$1.25 fee per
ECheck transaction paid online.*

Parcel ID: 20016600640
Amount Due: \$0.00
Bill#: 237296
Due Date: 12/01/2022

AMOUNT PAID

GOMEZ JOSE
3950 N INDIAN CIR
KENNESAW, GA 30144

City of Kennesaw
PROPERTY TAX DIVISION
2529 J. O. STEPHENSON AVE
KENNESAW, GA 30144-2780



 Subject Parcel
 200' Radius
 Properties Notified

2407 Pine Drive
Land Lot 166,
Tax Parcel 64

ZV2023-02
200' PROPERTY NOTIFICATION
 CITY OF KENNESAW
 PLANNING & ZONING DEPT.
 770-590-8268

Date: 8/1/2023
 ZV2023-02 Notification Map

 1" = 150'

Tax Parcel - 20016600590
.....
PRUETT SHARON A & HARRY E
2434 PINE DR
KENNESAW GA 30152-3402

Tax Parcel - 20016601100
.....
POSEY JENNIFER B
2431 PINE DR
KENNESAW GA 30152-3401

Tax Parcel - 20017700440
.....
D'AIRES JEANNETTE
2430 DUE WEST CIR
KENNESAW GA 30152

Tax Parcel - 20016600620
.....
DUNCAN DOUGLAS E
2406 PINE DR
KENNESAW GA 30152-3465

Tax Parcel - 20017700460
.....
LILLY MANAGEMENT GROUP LLC
2450 DUE WEST CIR
KENNESAW, GA 30152

Tax Parcel - 20016600610
.....
CLEGHORN JEREMY B & PAMELA J
2416 PINE DR NW
KENNESAW GA 30152-3465

Tax Parcel - 20017700420
.....
SMITH BETTY
2410 DUE WEST CIR
KENNESAW GA 30152

Tax Parcel - 20016600660
.....
GOVAN AMISHA
2353 WOODLAND DR
KENNESAW, GA 30152

Tax Parcel - 20016600600
.....
NEWMAN GENA R & DOUGLAS R
2424 PINE DR
KENNESAW GA 30152

Tax Parcel - 20017700430
.....
FREEMAN VICKI G
2420 DUE WEST CIR
KENNESAW GA 30152-3304

Tax Parcel - 20016601070
.....
THE DOUGHTY FAMILY REVOCABLE TRUST
5501 NICHOLS RD
POWDER SPRINGS, GA 30127

Tax Parcel - 20016600630
.....
OLCAY TUNAHAN
2331 WOODLAND DR NW
KENNESAW GA 30152

Tax Parcel - 20016601080
.....
RANGEL JOSE M
2354 WOODLAND DR
KENNESAW GA 30152

Tax Parcel - 20017700470
.....
QUATTROCCHI ASTA
2460 DUE WEST CIR
KENNESAW GA 30152

Tax Parcel - 20016600670
.....
POWELL MEEKS TERESA LYNN
2363 WOODLAND DR NW
KENNESAW GA 30152

Tax Parcel - 20016600640
.....
GOMEZ JOSE
3950 N INDIAN CIR
KENNESAW GA 30144

Tax Parcel - 20016601090
.....
FLORES NED & ADRIANA FKA SALAZAR
2344 WOODLAND DR
KENNESAW GA 30152

Tax Parcel - 20016600650
.....
STROM MEGHAN
2343 WOOLAND DR NW
KENNESAW GA 30152

Tax Parcel - 20017700450
.....
LAYTON MARY JANE
2440 DUE WEST CIR NW
KENNESAW GA 30152



SURVEYORS NOTES:

1. STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATION WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATION ARE BEGUN, CALL THE UTILITIES PROTECTION CENTER FOR ADDITIONAL INFORMATION.

2. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENT OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT A CURRENT TITLE SEARCH MAY DISCLOSE.

3. THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAT DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS OR ENTITY.

4. BEARINGS SHOWN WERE COMPUTED FROM ANGLES TURNED FROM A SINGLE MAGNETIC OBSERVATION.

LEGEND:

P.O.B. POINT OF BEGINNING
P.O.R. POINT OF REFERENCE
O.H.P. OVERHEAD POWER LINE
P.P. POWER POLE
L.L.L. LAND LOT LINE
I.P.F. 1/2" IRON PIN FOUND
I.P.S. 1/2" IRON PIN SET
O.T.F. OPEN TOP FOUND
T.L.P. TRAFFIC LIGHT POLE
C.L. CENTER LINE
⊗ LOT NUMBER
W.M. WATER METER
C/B CABLE BOX
E.M. ELECTRIC METER
G.M. GAS METER
T/B TELEPHONE BOX
C.T.F. CRIMP TOP FOUND

NOTE:

THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 85,580 FEET AND AN ANGULAR ERROR OF 00 50'06" PER ANGLE. POINT AND WAS ADJUSTED USING COMPASS RULE. THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1: 193,383 FEET

IT IS HEREBY CERTIFIED THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE BY ME OR UNDER MY SUPERVISION; THAT ALL MONUMENTS SHOWN HEREON ACTUALLY EXIST OR ARE MARKED AS "FUTURE" THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE CORRECTLY SHOWN:

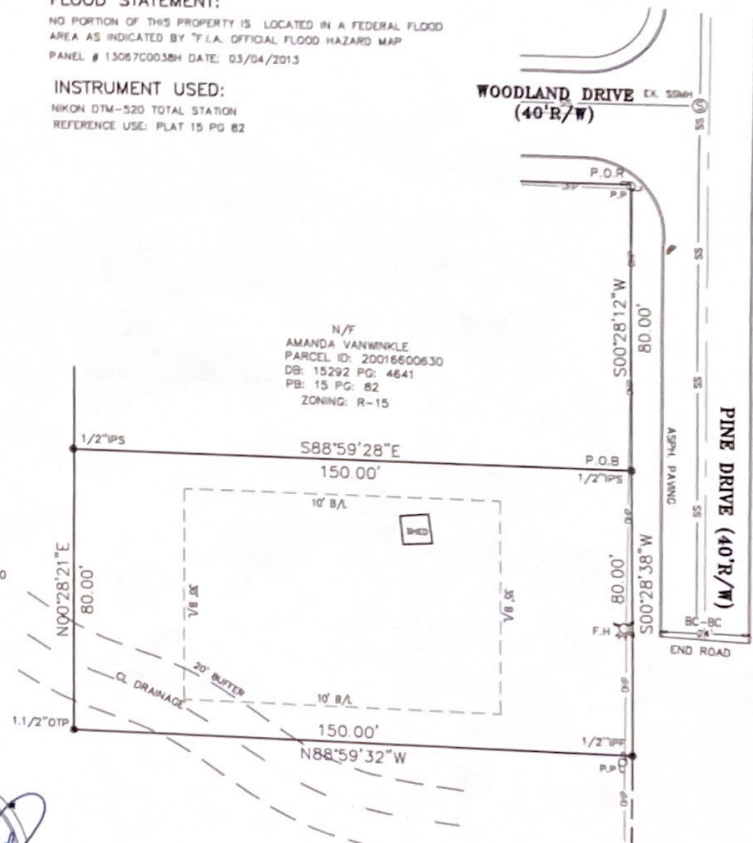


FLOOD STATEMENT:

NO PORTION OF THIS PROPERTY IS LOCATED IN A FEDERAL FLOOD AREA AS INDICATED BY F.I.A. OFFICIAL FLOOD HAZARD MAP PANEL # 15087C0038H DATE: 03/04/2013

INSTRUMENT USED:

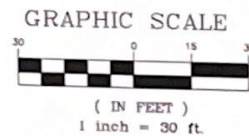
NIKON DTM-520 TOTAL STATION
REFERENCE USE: PLAT 15 PG 82



NOTE:

THE SURVEY WAS PREPARED IN CONFORMITY WITH THE TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN CHAPTER 180-7 OF RULES OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN THE GEORGIA PLAT ACT O.C.G.A. 15-6-67

LOT AREA
11,999 sq. ft.
0.275 acres
ZONING R-15
VACANT LOT



**KENNESAW WOODLAND
ACRES SUBDIVISION**

BOUNDARY SURVEY OF

AMANDA VANWINKLE

PINE DR NW

KENNESAW GA. 30152

PARCEL ID: 20016600640

LAND LOT: 166 20TH DISTRICT

CITY OF KENNESAW

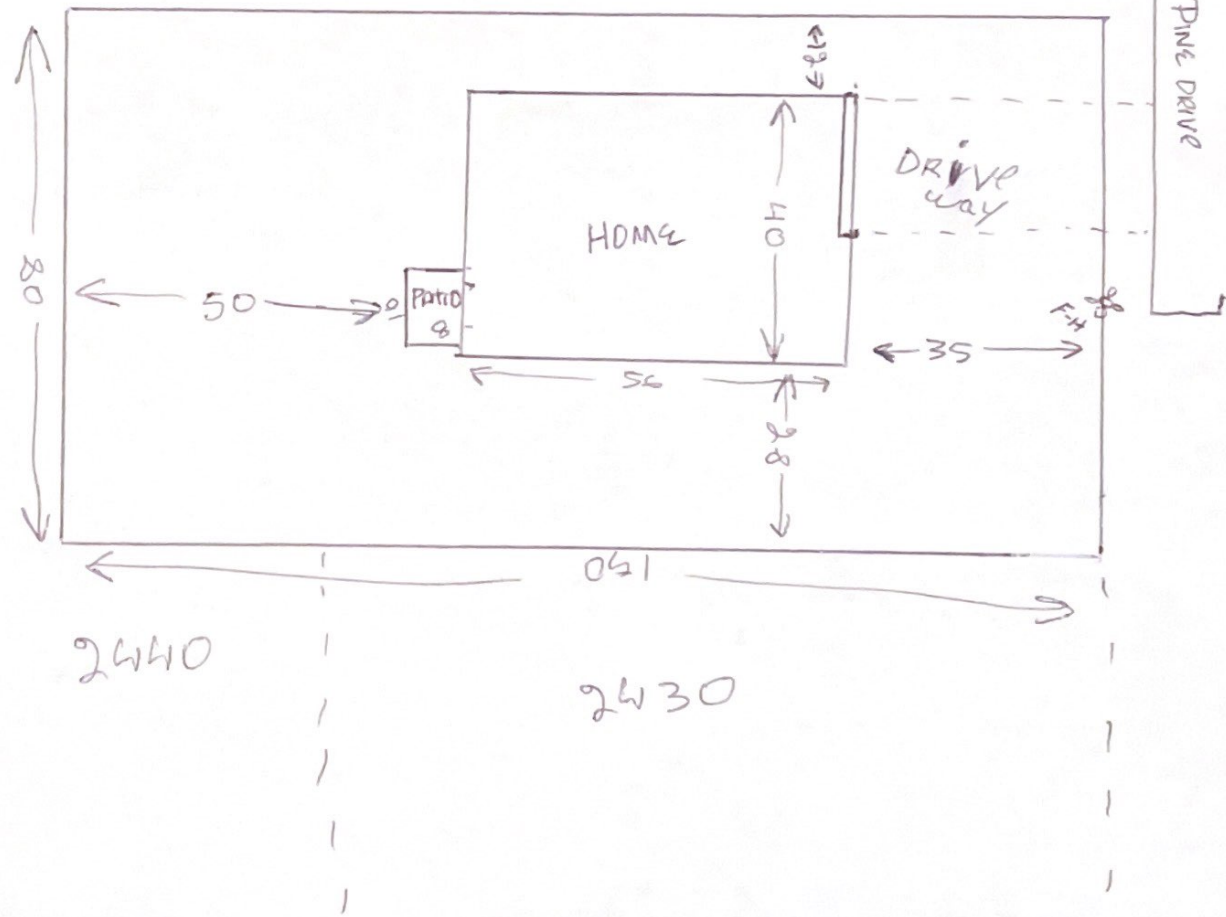
COBB COUNTY, GEORGIA

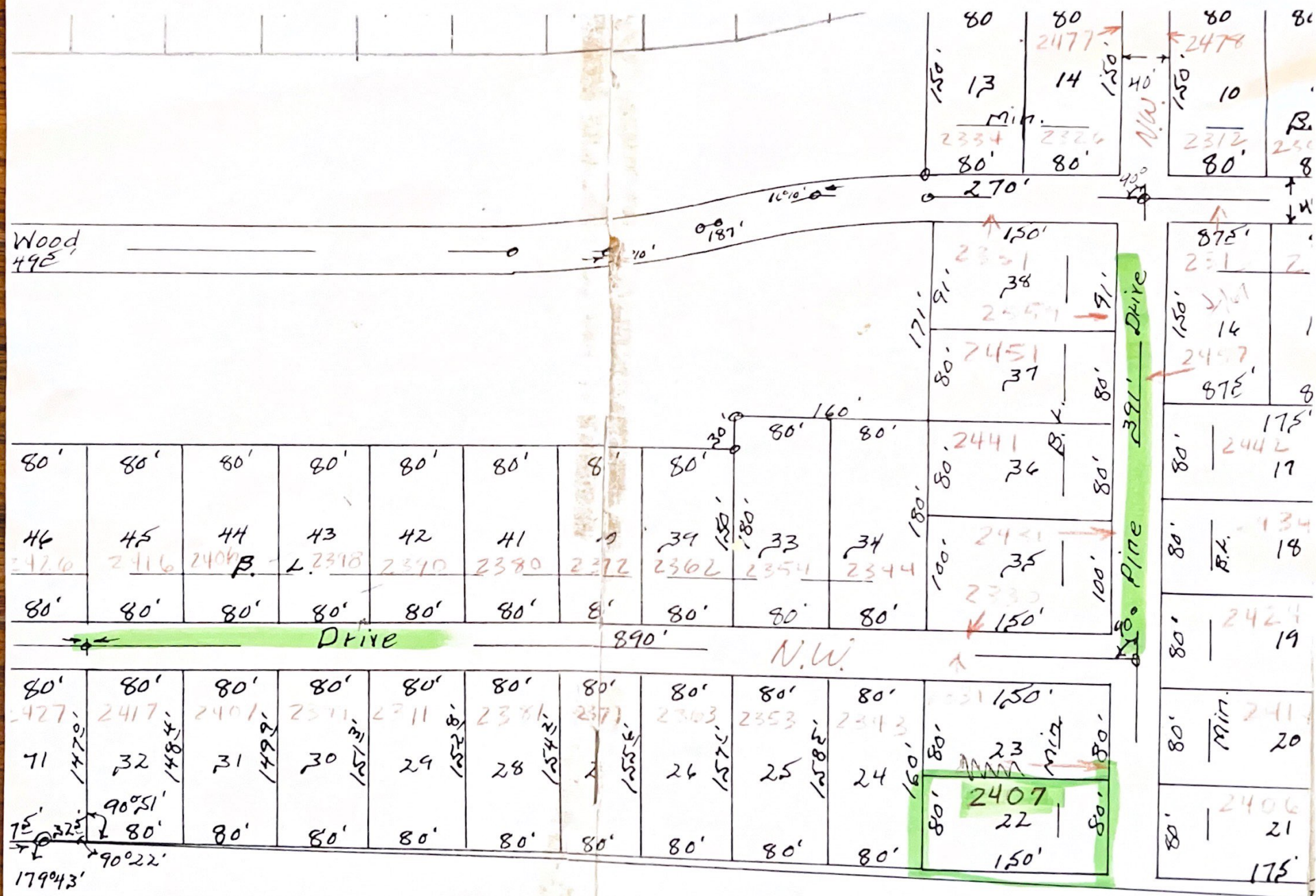
SCALE 1"=30' NOVEMBER 27 2017

JOB # 26093 B

Lot # 23

Lot # 24

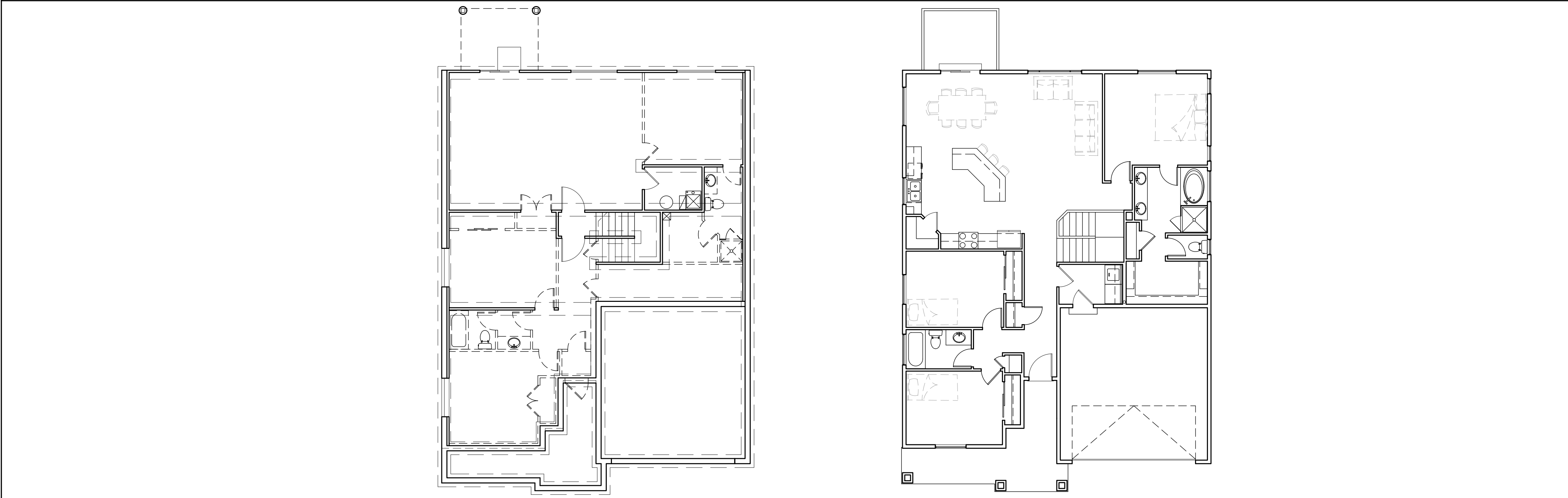




A New Residence for

Jose Gomez

3950 N Indian Cir NW, Acworth, GA 30144



<u>ARCHITECTURAL</u>	
CVR	COVER SHEET
A0.1	SPECIFICATIONS
A1.1	FOUNDATION PLAN
A1.2	FLOOR PLAN
A2.1	ELEVATIONS
A3.1	FLOOR FRAMING PLAN
A3.2	ROOF FRAMING PLAN
A4.1	BUILDING SECTIONS
E1.1	ELECTRICAL PLAN

1552-01

THESE PLANS WERE DRAWN AND DESIGNED TO BE BUILT IN THE STATE WHERE THEY WERE CREATED, WHERE REQUIRED BY THE PERMITTING JURISDICTION, THESE PLANS MUST BE REVIEWED, STAMPED, AND SIGNED BY A LICENSED PROFESSIONAL STRUCTURAL ENGINEER, PRIOR TO START OF CONSTRUCTION.

DESIGNER ASSUMES NO RESPONSIBILITY FOR BEAM SIZES, FOOTING SIZES, REBAR SIZE AND PLACEMENT, SHEER WALLS, FOUNDATION STRAPS, ETC., WHEN A STRUCTURAL ENGINEER IS NOT REQUIRED OR ENGAGED, IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR OWNERS/BUILDER TO PROPERLY SIZE STRUCTURAL ITEMS LISTED ABOVE ACCORDING TO PRESCRIPTIVE DESIGN IN THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE.

CLIENT/BUILDER TO REVIEW PLANS FOR ANY ERRORS OR OMISSIONS, AND SHALL NOT HOLD THE DESIGNER LIABLE FOR ANY PART OF THE CONSTRUCTION DOCUMENTS OR CONSTRUCTION DRAWINGS, ANY ERRORS OR OMISSIONS TO BE BROUGHT TO THE DESIGNERS ATTENTION, IN WRITING, PRIOR TO ANY WORK BEING PERFORMED, ALL SPECIFICATIONS, DETAILS, & DIMENSIONS MUST BE VERIFIED BY CLIENT/BUILDER BEFORE THE START OF CONSTRUCTION

THE BUILDING DESIGNS DEPICTED HEREIN ARE THE SOLE PROPERTY OF LEDGESTONE HOME DESIGN LLC AND MAY NOT BE CONSTRUCTED OR USED WITHOUT ITS EXPRESS WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE BUILDING DESIGNS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERY OF PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE LEDGESTONE HOME DESIGN LLC AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS, ANY OTHER REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE BUILDING DESIGNS DEPICTED IS PROHIBITED.

THIS COPYRIGHT NOTICE AND THE TITLE BLOCK, LOGOS, WATERMARKS, SEALS, AND USE RESTRICTIONS ON THE PLANS ARE "COPYRIGHT MANAGEMENT INFORMATION" UNDER THE DIGITAL MILLENNIUM COPYRIGHT ACT. THEY ARE USED TO DETER, DETECT, AND POLICE COPYRIGHT INFRINGEMENT, AND THEIR MAINTENANCE ON COPIES OF THE WORK IS ONE OF THE CONDITIONS

FOR LAWFUL USE OF THE PLANS AND THE DESIGN DEPICTED IN THEM, AS SUCH, ANY REMOVAL OR ALTERATION OF SUCH COPYRIGHT MANAGEMENT INFORMATION WITHOUT THE EXPRESS WRITTEN PERMISSION OF LEDGESTONE HOME DESIGN LLC WILL RESULT IN COPYRIGHT INFRINGEMENT, AND IS PROHIBITED.

© LEDGESTONE HOME DESIGN LLC 2023 ALL RIGHTS RESERVED

BUILDER:

ENGINEER:	

LOT #

BUILDING CODES:

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING CODES AND AMENDMENTS PER THEIR ADOPTING ORDINANCES:

- 2018 International Building Code
- 2015 International Residential Code
- 2018 International Plumbing Code
- 2018 International Mechanical Code
- 2020 National Electrical Code
- 2018 International Fire Code

SQUARE FOOTAGES:			
FLOOR			TOTAL
BASEMENT			1552
MAIN FLOOR			1552
GARAGE			405
OVERALL			3104

Revisions:	
A	.
B	.
C	.
D	.

Drawn by: MRW / MDW
Rev Date: 07/03/2023
Plan Name: R1552-01 PLAN GOMEZ
Release: 10/31/2019



43 of 6

SPECIFICATIONS

STRUCTURAL NOTES:

UNLESS NOTED OTHERWISE, ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS AT THE JOB SITE, AND TO FULLY COORDINATE ALL DIMENSIONS AND CONDITIONS OF DETAILS WITH OTHER DISCIPLINES. ANY FIELD CONDITIONS REQUIRING CONSTRUCTION THAT IS DIFFERENT FROM THAT SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. ANY CONFLICTING DETAILS SHOWN IN THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE CONSTRUCTION OF SAID DETAIL. DO NOT SCALE DRAWINGS. ANY QUESTIONS REGARDING THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE DESIGNER IN THE FORM OF A WRITTEN REQUEST FOR INFORMATION.

ALL SUPPORT OF CONSTRUCTION LOADS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL SHORING AND BRACING REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION PROCESS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL PROCEDURES OF SOIL EXCAVATION,BACK FILL, AND SUPPORT OF ADJACENT PROPERTY DURING EARTHWORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

ALL DIMENSIONS INDICATED ON PLANS SHALL BE TO FACE OF STUDS, FACE OF CONCRETE BLOCK, FACE OF ROUGH CONCRETE, CENTERLINE OF COLUMNS,BOTTOM OF METAL DECK, AND TOP OF SLAB, UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT INDICATED ON STRUCTURAL DRAWINGS. THE FOLLOWING DESIGN CRITERIA SHALL BE ENFORCED;

ROOF DEAD LOAD: 15 PSF.
ROOF SNOW LOAD:
Pf = 30 PSF
Ce = 1.0
I = 1.0
Ct = 1.0
WIND FORCES:
BASIC WIND SPEED: 115 MPH (3 SECOND GUST)
WIND EXPOSURE TYPE: B
RISK CATEGORY II
SDS = 0.82
SD1 = 0.45
SITE CLASS D
SEISMIC DESIGN CATEGORY D
BASIC LFRS = LIGHT FRAMED WALLS WITH SHEAR PANELS
R=6.5
W WEIGHT OF STRUCTURE:
DESIGN BASE SHEAR - 0.126W (ULTIMATE)
0.090W (SERVICE)
DESIGN PROCEDURE: EQUIVALENT LATERAL FORCE

(NOTE: SITE SPECIFIC,
ADJUST AS NEEDED)

FOUNDATIONS:

MAXIMUM ALLOWABLE SOIL PRESSURE: = 1500 PSF. PER IBC 2018 TABLE 1806.2.
ALL FOOTING DEPTHS INDICATED ON PLANS ARE MINIMUM DEPTHS. FOOTINGS MAY BE PLACED IN NEAT EXCAVATED TRENCHES. TRENCH SHALL BE APPROVED BY INSPECTOR PRIOR TO PLACEMENT OF CONCRETE. AT LOCATIONS WHERE STRUCTURAL FILL IS REQUIRED, FILL SHALL BE PLACED IN 6" LIFTS & COMPACTED AT OPTIMUM MOISTURE CONTENT. REFER TO SOILS INVESTIGATION FOR DEPTH AND EXTENT OF STRUCTURAL FILL.

CONCRETE:
ALL CONCRETE MATERIALS SHALL COMPLY WITH THE STANDARDS SPECIFIED INTHE LATEST EDITION OF THE ACI 318 BUILDING CODE.

LOCATION	SPECIAL	SLUMP	AGGREGATE	COMPRESSIVE
-	INSECT.	(MAX)	(MAX SIZE)	STRENGTH (PSI)
FOOTINGS	NO	5	1" DIA	3000 (2500 DESIGN)
STEM WALLS	NO	5	1" DIA	3000 (2500 DESIGN)
SLAB ON GRADE	NO	3-1/2"	3/4" DIA	3500(2500 DESIGN)
SLAB ON DECK	NO	3-1/2"	3/4" DIA	3500(2500 DESIGN)

ANY CONCRETE THAT FAILS TO MEET SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION, DESIGN,PLACEMENT AND REMOVAL OF ALL FORM WORK. ALL SHORING DURING PLACEMENT OF CONCRETE IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STRUCTURAL STEEL:

ALL STRUCTURAL STEEL COMPONENTS SHALL BE FABRICATED AND ERECTED ACCORDING TO THE LATEST EDITION OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATIONS FOR DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS", WITH " COMMENTARY", AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

ALL STEEL SECTIONS SHALL CONFORM TO THE FOLLOWING:
WIDE FLANGE SHAPES: ASTM A572 GRADE 50 OR ASTM A992 GRADE 50.
HOLLOW STRUCTURAL SECTIONS: ASTM A500 GRADE B, Fy MIN. = 46 KSI
ANGLES, CHANNELS, PLATES & BARS: ASTM A36.

ALL WELDING SHALL BE DONE BY CERTIFIED AWS WELDERS, AND COMPLY WITH THE LATEST EDITION OF THE AWS D1.1 CODE FOR WELDING IN BUILDING CONSTRUCTION. ALL FILLET WELDS TO BE 3/16" UNLESS NOTED OTHERWISE. ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL BE WITH ASTM A307, UNLESS NOTED OTHERWISE. PROVIDE EDGE DISTANCE IN ACCORDANCE TO AISC TABLEJ3.7 UNLESS NOTED OTHERWISE. ALL FIELD WELDS SHALL BE SPECIALLY INSPECTED PER IBC 2015 TABLE 1704.3. ALL TESTING AND INSPECTION REPORTS SHALL BE SENT TO THE ENGINEER FOR REVIEW. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. THE ENGINEER SHALL HAVE 10 BUSINESS DAYS TO REVIEW SHOP DRAWINGS.

STRUCTURAL STEEL SHALL BE SPECIALLY INSPECTED AS PER IBC 2018, TABLE1704.3

CONCRETE REINFORCING:

ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60, Fy=60,000 PSI MIN., UNLESS NOTED OTHERWISE. BARS SHALL BE TIED SECURE PRIOR TO PLACEMENT OF CONCRETE TO MAINTAIN PROPER PLACEMENT AFTER CONCRETE IS IN PLACE. LAP ALL BARS 40 DIAMETERS UNLESS NOTED OTHERWISE. SPLICE BARS ONLY WHERE SHOWN ON PLANS.

MAINTAIN THE FOLLOWING CONCRETE COVERAGES FOR CONCRETE REINFORCING:

UNFORMED SURFACES IN CONTACT WITH EARTH.....3"
FORMED SURFACES IN CONTACT WITH EARTH.....2"
FORMED SURFACES EXPOSED TO OUTSIDE WEATHER.....2"
SLABS AND WALLS NOT EXPOSED TO WEATHER.....1 ½"
CLEAR DISTANCE BETWEEN BARS.....2" U.N.O.

LAMINATED VENEER LUMBER:

ALL LAMINATED VENEER LUMBER SHALL CONFORM TO THE SPECIFICATIONS OF ILEVEL CORPORATION FOR VENEER LUMBER, OR ENGINEER APPROVED EQUIVALENT. DESIGN VALUES SHALL MEET OR EXCEED THOSE PUBLISHED VALUES IN THE ILEVEL PRODUCT GUIDE, LATEST EDITION. A COMPLETE SET OF STRUCTURAL SHOP DRAWINGS, INDICATING MEMBERS AND PLACEMENT SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO THE FABRICATION OF THE MEMBERS. THE ENGINEER SHALL HAVE 10 BUSINESS DAYS TO REVIEW SHOP DRAWINGS.

PLYWOOD WEB JOIST:

ALL WOOD I-JOIST SHALL CONFORM TO THE SPECIFICATIONS OF ILEVEL CORPORATION FOR TJ JOISTS, OR ENGINEER APPROVED EQUAL. DESIGN VALUES SHALL MEET OR EXCEED THOSE PUBLISHED VALUES IN THE ILEVEL TJ JOIST PRODUCT GUIDE, LATEST EDITION. A COMPLETE SET OF STRUCTURAL SHOP DRAWINGS, INDICATING MEMBERS AND PLACEMENT SHALL BE SUBMITTED TO THE ENGINEER PRIOR TO THE FABRICATION OF THE JOISTS. THE ENGINEER SHALL HAVE 10 BUSINESS DAYS TO REVIEW SHOP DRAWINGS.

SHEATHING:

SHEATHING SHALL BE A.P.A. RATED, SEE PLAN FOR SPAN RATING AND THICKNESS.
SHEATHING INSTALLATION:
ROOF AND FLOOR SHEATHING SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO THE FRAMING MEMBERS U.N.O. AND END JOINTS SHALL BE STAGGERED. WALL SHEATHING MAY BE APPLIED HORIZONTALLY OR VERTICALLY.
ALL NAILS SHALL BE COMMON WIRE NAILS U.N.O. EQUIVALENT PNEUMATIC DRIVEN NAILS MAY BE USED IF FASTENER MANUFACTURER HAS CURRENT I.C.C. APPROVAL. FASTENERS TO BE USED SHALL BE EQUIVALENT IN LATERAL AND WITHDRAWAL STRENGTH TO THE SIZE COMMON NAIL SPECIFIED.

ROOF SHEATHING:

EDGE BLOCKING OF UNSUPPORTED EDGES OF SHEATHING AS NOTED ON PLANS. PLY CLIPS OR APPROVED EQUAL CONNECTOR SHALL BE INSTALLED AT MIDSPAN BETWEEN EACH SUPPORT WHEN RAFTER SPACING EXCEEDS 16" AND EDGE BLOCKING IS NOT SPECIFIED.

TYPICAL NAILING SHALL BE 8d @ 6" O.C. AT SUPPORTED EDGES AND OVER SHEARWALLS AND 8d AT 12" O.C. AT INTERMEDIATE SUPPORTS, U.N.O.

FLOOR SHEATHING:

EDGE BLOCKING OF UNSUPPORTED EDGES OF SHEATHING AS NOTED ON PLANS.

TYPICAL NAILING SHALL BE 10d @ 6" O.C. ALL SUPPORTED EDGES AND OVER SHEAR WALLS, AND 10d @ 12" O.C. ALL INTERMEDIATE SUPPORTS U.N.O. USE RING SHANK NAILS.

ALL FLOOR SHEATHING SHALL BE GLUED TO JOISTS. THE FIELD-GLUED FLOOR SYSTEM SHALL BE INSTALLED ACCORDING TO THE RECOMMENDATION OF THE AMERICAN PLYWOOD ASSOCIATION. GLUE SHALL BE APPLIED TO THE JOISTS AND TO THE GROOVE IN THE EDGE OF THE T & G PANELS. GLUE SHALL MEET THE REQUIREMENTS OF THE AMERICAN PLYWOOD ASSOCIATION ADHESIVE SPEC. AFG-D1 AND SHALL BE APPLIED AS DIRECTED BY THE GLUE MANUFACTURER. GLUE MAY BE APPLIED MANUALLY OR WITH PNEUMATIC OF ELECTRIC EQUIPMENT.

STEEL FASTENERS/ANCHOR BOLTS:

ALL STEEL FASTENERS AND ANCHOR BOLTS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE GALVANIZED STEEL OR STAINLESS STEEL IN ACCORDANCE WITH IBC 2304.9.5.

ROUGH CARPENTRY:

FRAMING LUMBER SHALL MEET THE FOLLOWING MINIMUM STANDARD U.N.O.
(USE) (SPECIES) (GRADE)
SILL PLATES 2 x 4 D.F./H.F. STANDARD OR BETTER.
2 x 6, 2 x 8 D.F./H.F. NO. 2 OR BETTER.
ALL SILL PLATES IN CONTACT WITH CONCRETE OR MASONRY, SHALL BE PRESSURE TREATED OR CALIFORNIA REDWOOD.

HORIZONTAL FRAMING LUMBER: (UNO)
4x4 AND SMALLER D.F./H.F. NO. 2
2x ROOF JOISTS & RAFTERS D.F./H.F. NO. 2
2x FLOOR JOISTS D.F./H.F. NO. 2
3x LEDGERS D.F./H.F. NO. 2
4x HEADERS & BEAMS D.F./H.F. NO. 2
6x6 & LARGER BEAMS D.F./H.F. NO. 2

VERTICAL FRAMING LUMBER: (U.N.O.)
ALL STUDS D.F./H.F. STUD
ALL POSTS D.F./H.F. NO. 2
ALL OTHER LUMBER U.N.O D.F./H.F. NO. 2
PROVIDE A MINIMUM OF (2) STUDS UNDER ALL BEAM BEARING LOCATIONS UNO. PROVIDE A MINIMUM OF (3) STUDS UNDER ALL GIRDER TRUSS BEARING LOCATIONS UNO. WHERE POSTS OR MULTIPLE STUDS UNDER BEAMS OR HEADERS ARE IDENTIFIED ON DRAWINGS, THOSE POSTS OR MULTIPLE STUDS SHALL BE CARRIED TO THE FOUNDATION. BLOCK JOISTS AT ALL SUPPORTS. DOUBLE JOISTS UNDER PARALLEL PARTITIONS. BLOCK UNDER PERPENDICULAR PARTITIONS AT 32" O.C.

JOISTS HANGERS AND OTHER METAL FRAMING ACCESSORIES ARE REFERRED TO ON PLANS BY PARTICULAR TYPE AS MANUFACTURED BY SIMPSON COMPANY, SAN LEANDRO CALIFORNIA. ACCESSORIES OF OTHER MANUFACTURER WITH EQUIVALENT LOAD CARRYING CHARACTERISTICS MAY BE USED, WHEN APPROVED BY ENGINEER.

BOLTS: HOLES IN WOOD 1/16" OVERSIZE MAX. USE WASHERS AGAINST WOOD. RETIGHTEN ALL BOLTS BEFORE CLOSING IN. PRE-DRILL HOLES FOR LAG BOLTS AND TURN BOLTS INTO HOLES, DO NOT DRIVE-IN. FIRE STOPPING, BACKING FOR INTERIOR FINISHES, NON-BEARING WALLS AND OTHER NON-STRUCTURAL FRAMING IS NOT NECESSARILY SHOWN ON THE STRUCTURAL DRAWINGS.
SEE FASTENING SCHEDULE (U.N.O.) PER IBC 2018 TABLE 2304.9.1.

PREFABRICATED WOOD TRUSSES:

ALL LUMBER SHALL BE DOUGLAS FIR OR HEM FIR.
FLOOR TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE FOLLOWING STANDARDS: NATIONAL DESIGN SPECS.
AMERICAN INSTITUTE OF TIMBER CONSTRUCTION W.C.L.A. RULE NO. 16.
DESIGN SPECS FOR LT. MTL. PLATE CONNECTED WOOD TRUSSES BY THE TRUSS PLATE INSTITUTE.
CAMBER TRUSSES FOR 1 1/2 TIMES THE DEAD LOAD DEFLECTION.

TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING MIN. LOADING: ROOF TRUSSES:
TOP CHORD DL = 10 psf
SL = 30 psf
BTM. CHORD DL = 5 psf
LL = 10 psf (NOT TO BE APPLIED AT THE SAME TIME AS TOP CHORDLL)

MAXIMUM DEFLECTION OF TRUSSES SHALL BE (DEAD + LIVE).
ROOF - L/360

WEB MEMBERS MAY NOT BE SHOWN ON DRAWINGS. MANUFACTURER TO DETERMINE WEB MEMBER CONFIGURATION AND TRUSS CONNECTION. NO TRUSS MAY BE ALTERED OR MODIFIED IN THE FIELD WITHOUT THE WRITTEN APPROVAL FROM THE ENGINEER. A COMPLETE SET OF SHOP DRAWINGS, ICBO REPORTS AND CALCULATIONS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO THE FABRICATION OF ANY MEMBERS. SUCH CALCULATIONS SHALL BE PREPARED UNDER THE DIRECTION OF A LICENSED ENGINEER IN THE STATE IN WHICH THE BUILDING IS TO BE BUILT.

GENERAL NOTES:

- LOW FLUSH TOILETS REQUIRED MAXIMUM 1.6 GALLONS/ FLUSH.
- MAXIMUM FLOW RATE OF SHOWER HEADS IS 2.5 G.P.M.
- 2018 IBC CODE TO BE UTILIZED, PER SPECIFICATIONS.
- HB = FREEZELESS, BACKFLOW PREVENTION HOSE BIBB.
- FLUE AND EXHAUST VENTS WILL TERMINATE 4'-0" BELOW OR 4'-0" HORIZ. AND AT LEAST 1' ABOVE A DOOR OR OPERABLE WINDOW OR GRAVITY AIR INLET
- EMERGENCY FLOOR DRAINS REQUIRE A TRAP SEAL PRIMER OR DEEP SEAL TRAP
- CLOTHES DRYERS SHALL BE VENTED TO EXTERIOR, DUCTS TO BE METAL WITH SMOOTH INTERIOR SURFACE, EQUIPPED WITH BACK-DRAFT DAMPERS, TERMINATE AT EXTERIOR OF BUILDING. NOT TO BE INSTALLED WITH SHEET METAL SCREWS. PROVIDE POWER VENT IF DUCT LENGTH IS OVER 14'-0" (2) 90 DEGREE ELBOWS MAX. WITH 4'-0" DUCT MIN. MAXIMUM DRYER VENT LENGTH TO BE 35'-0" AND SEALED AND SUPPORTED EVERY 12' IN LENGTH.
- ATTIC ACCESS TO BE 22" X 30" FINISH MIN. AND NOT LOCATED ABOVE A SHELF IN CLOSETS, 30"HEADROOM REQ. ABOVE ACCESS, 1 HOUR FIRE RESISTANT CONSTRUCTION AND LATCH IN GARAGES. PER IRC R807.1
- ALL CASED OPENINGS SHALL HAVE SAME HEIGHT AS DOOR CASINGS HEIGHT, U.N.O.
- ALL EXTERIOR WALLS TO BE 2X6 STUD @ 16" O.C, ALL INTERIOR TO BE 2X4 STUD, U.N.O.
- LOCATE SINGLE TOWEL BARS @ 64" A.F.F.
- (1) ROD/ (1) SHELF, CLOSET SHELF @ 72" A.F.F.
- (2) RODS/ (2) SHELVES, CLOSET SHELVES @ 42" & 84" A.F.F.
- RAIL @ 36" A.F.F. OR ABOVE STAIR TREAD, PROVIDE 4" MAX. SPACE BETWEEN BALUSTERS.
- BALCONY RAIL @ 42" A.F.F, PROVIDE 4" MAX. SPACE BETWEEN BALUSTERS.
- SEE SITEPLAN AND ELEVATION NOTES FOR GRADING SPECIFICATIONS, IF NEEDED
- PROVIDE HEAT/ CHECK VALVES @ INLET & OUTLET OF WATER HEATER
- WINDOW WELLS W/ FIXED LADDERS TO COMPLY WITH IRC R310.2
- EGRESS WINDOWS DEEPER THAN 44" REQUIRE A LADDER, CLEAR DIMENSIONS TO BE 9 sq. ft. MIN.(FULL OPEN) AND 36" IN SMALLEST DIRECTION PER IRC R310.2
- EGRESS RESCUE WINDOWS TO BE PROVIDED IN ALL BEDROOMS, MAX OF 44" A.F.F TO OPENING, AND MIN. OF (1) IN THE BASEMENT. PROVIDE MIN. WIDTH OF 20", MIN. HEIGHT OF 24", MIN. NET CLEAR OF 5.7 SQ FT (5.0 SQ FT FOR GROUND FLOOR).
- GLAZING TO BE TEMPERED IF : a) WITHIN TUB/SHOWER ENCLOSURES, b) SILL WITHIN 60" VERTICALLY OF TUB/SHOWER DRAIN, c) CONTAINED IN OR USED AS A DOOR, d) WITHIN AN ARC OF 24" OF EITHER VERTICAL EDGE OF A DOOR, e) SILL LESS THAN 18" A.F.F. f) CONTAINED IN OR USED AS A RAILING,SEE FLOOR PLANS.
- WATER RESISTANT GYP. BD. NOT TO BE USED OVER VAPOR BARRIERS & CLG.
- ALL SHOWER ACCESS OPENINGS TO HAVE A CLEAR AND UNOBSTRUCTED FINISHED WIDTH OF NOT LESS THAN 22" PER IRC P2708.1.1.
- PROVIDE 1 HR. SEPERATION BETWEEN GARAGE AND LIVING SPACES. 5/8" TYPE X GYP WALLS, CEILING & BEAMS. (1) LAYER 5/8" TYPE "X" ON CEILING WHEN LIVING SPACE IS ABOVE. SEE 2018 IBC.
- DOORS FROM DWELLING TO GARAGE AREAS TO BE 1 3/8" SOLID CORE WOOD OR 20 MIN. RATED METAL W/ SELF CLOSURE, SEE FLOOR PLANS FOR LOCATIONS
- MIN. 36" X 36" LANDING TO BE PROVIDED AT ; a) ALL EXTERIOR DOORS (EXCEPT GARAGE) AT TOP OF STEPS, b) BOTTOM OF ALL INTERIOR STAIRWAYS, c) TOP OF INTERIOR STAIRWAYS UNLESS DOOR DOES NOT SWING OVER STAIRS
- HANDRAILS WILL BE PROVIDED WHERE THERE ARE 3 OR MORE RISERS AND WILL COMPLY WITH IRC 315.1& 315.2 - 1 1/4" TO 2 5/8" GRIPPABLE SURFACE @ HANDRAIL.
- PROVIDE PRESSURE RELIEF VALVE ON WATER HEATER.
- SEISMIC TIE DOWNS TO BE PROVIDED AT WATER HEATERS. LOCATE @ TOP 1/3 & BTM 1/3.
- 30" MIN. CLEARANCE TO BE PROVIDED IN FRONT OF ALL WATER HEATERS
- OUTSIDE COMBUSTION AIR TO BE PROVIDED FOR ALL WATER HEATERS & FURNACE
- PROVIDE 30" CLEARANCE IN FRONT OF FURNACE FOR SERVICING
- FUEL FIRED APPLIANCES @ GARAGE TO BE 18" A.F.F.
- MIN. 30" CLEARANCE ABOVE COOKTOPS TO COMBUSTIBLES
- ALL PLUMBING VENTS THROUGH ROOF TO BE 2" PIPE MIN. ALL PENETRATION THROUGH ROOF SHALL BE 5'-0" MIN. FROM ANY PARTY WALL AND SHALL BE 2'-0" ABOVE OR 10'-0" AWAY FROM ALL EXTERIOR AIR INTAKE OPENINGS AND AT LEAST 3'-0" FROM PROPERTY LINE
- PROVIDE EXPANSION TANK @ WATER HEATER PER IRC P2903.4
- COMBUSTION AIR IS TO BE TAKEN FROM OUTSIDE. PROVIDE (2) COMBUSTION AIR DUCTS (1 COMB, 1 EXH) WITH EXTERIOR COVERS OF 1/4" SCREEN, TERMINATE ONE DUCT WITHIN 12" OF CLG. AND THE OTHER WITHIN 12" A.F.F.
- MECHANICAL EXHAUST EQUIPMENT TO PROVIDE 5 AIR CHANGES PER HOUR MIN. AS PER IRC R303.1.1.
- MAINTAIN A 1" AIR SPACE BETWEEN ATTIC INSULATION & ROOF SHEATHING AT ALL ROOF RAFTER FRAMING AREAS, 1" BAFFLES AT PERIMETER
- THIS STRUCTURE SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CITY AND STATE BUILDING CODES, AMENDMENTS AND ORDINANCES AS VERIFIED BY BUILDER
- INSULATION MINIMUMS: WALL EXTERIOR R-21, CEILING R-49, FLOOR R-30, BASEMENT WALLS R-15, UNO, REFER TO PASSING RES CHECK FOR ALTERNATES.
- #4 GRADE REBAR @ 12" O.C. BOTH WAYS FOR PORCH CAP, UNO
- PROVIDE 120"F MAX. ANTI-SCALD SHOWER VALVE ON ALL SHOWER AND TUB SHOWER COMBOS PER IRC P2708.4 AND P2713.3.
- PROVIDE BRACING @ ALL SHELVES EVERY 4'-0".
- ALL FOOTINGS TO BE 30" BELOW FROST LINE, MINIMUM.
- MUD SILL PLATES TO BE MADE OF REDWOOD OR PRESSURE TREATED WOOD.
- FLOOR SHALL BE BLOCKED PERP. TO THE FLOOR JOISTS. BLOCKING TO BE FULL DEPTH WITHIN FIRST TWO JOIST SPACES OF THE FOUNDATION WALL, W/ 2X4 FLAT BLOCKING ELSEWHERE (R404.1 #4)
- MECH ROOM TO BE FRAMED AND INSULATED W/ VAPOR BARRIER, PROVIDE 2868 SOLID SEALED DOOR W/ THRESHOLD.
- ELECTRICAL BOXES IN GARAGE TO BE 2 HR RATED AND GFCI. ONE OUTLET REQUIRED PER GARAGE STALL SPACE
- METAL FLASHING REQUIRED FOR MASONRY VENEER REQUIRED FROM FOUNDATION UP THE FIRST THREE COURSES, WITH 3/16" WEEP HOLES @ 33" O.C, FLASHING TO EXTEND BEYOND FOUNDATION EDGE 1/2"
- ARC-FAULT CIRCUIT INTERRUPTERS ARE REQUIRED ON ALL BRANCH CIRCUITS THAT SUPPLY 125 VOLT, SINGLE PHASE, 15-20 AMP RECPT OUTLETS IN BEDROOMS.
- CEMENT, FIBER-CEMENT AND GLASS MATT GYPSUM BACKERS SHALL BE USED FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS.
- ALL BACKFILLED AREAS TO BE PROPERLY COMPACTED PRIOR TO OCCUPANCY
- SHOWER PAN TO BE PROVIDED PER IRC P2709.
- 90% EFFICIENCY FURNACE STANDARD, UNLESS OTHERWISE SPECIFIED
- WATER HEATER TO BE 40 GALLON CAPACITY MINIMUM, UNLESS OTHERWISE SPECIFIED
- BATHROOM EXHAUST FANS ARE REQUIRED TO VENT TO THE EXTERIOR OF HOME.
- PLUMBING FIXTURES TO HAVE MINIMUM REQUIRED CLEARANCES PER IRC R307 AND P2705.1.
- A FLOOR DRAIN OR STEEL PAN HAVING A MIN THICKNESS OF 24 GAUGE, OR OTHER PANS APPROVED FOR SUCH USE IS REQUIRED FOR THE WATER HEATER PER IRC P2801.6.



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RI552-01 PLAN	3950 N Indian Cir NW Acworth, GA 30144	SPECIFICATIONS
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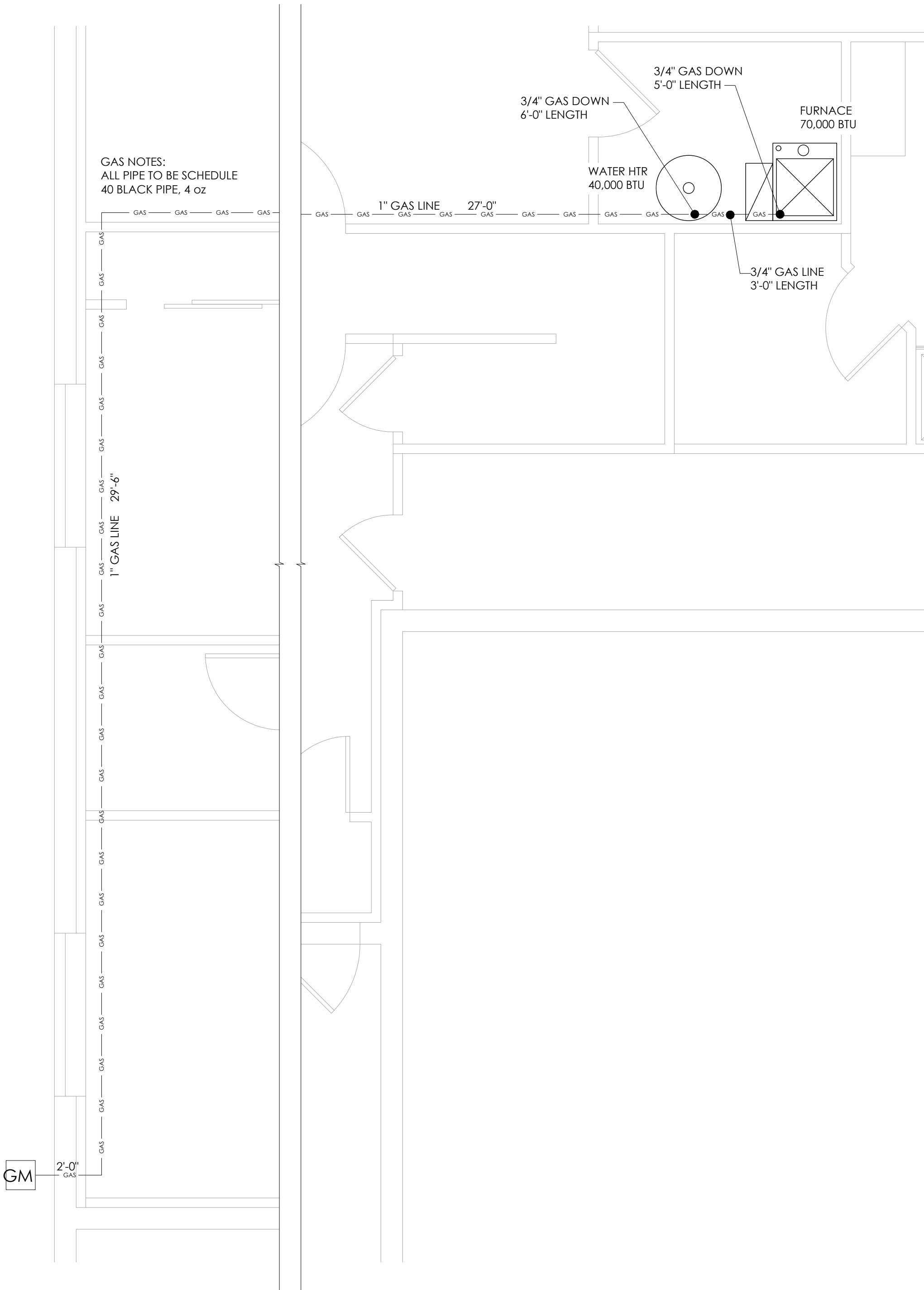
Drawn by: MRW / MDW
Rev Date: 07/03/2023
Plan Name: R1552-01 PLAN GOMEZ
Release: 10/31/2019

A0.1

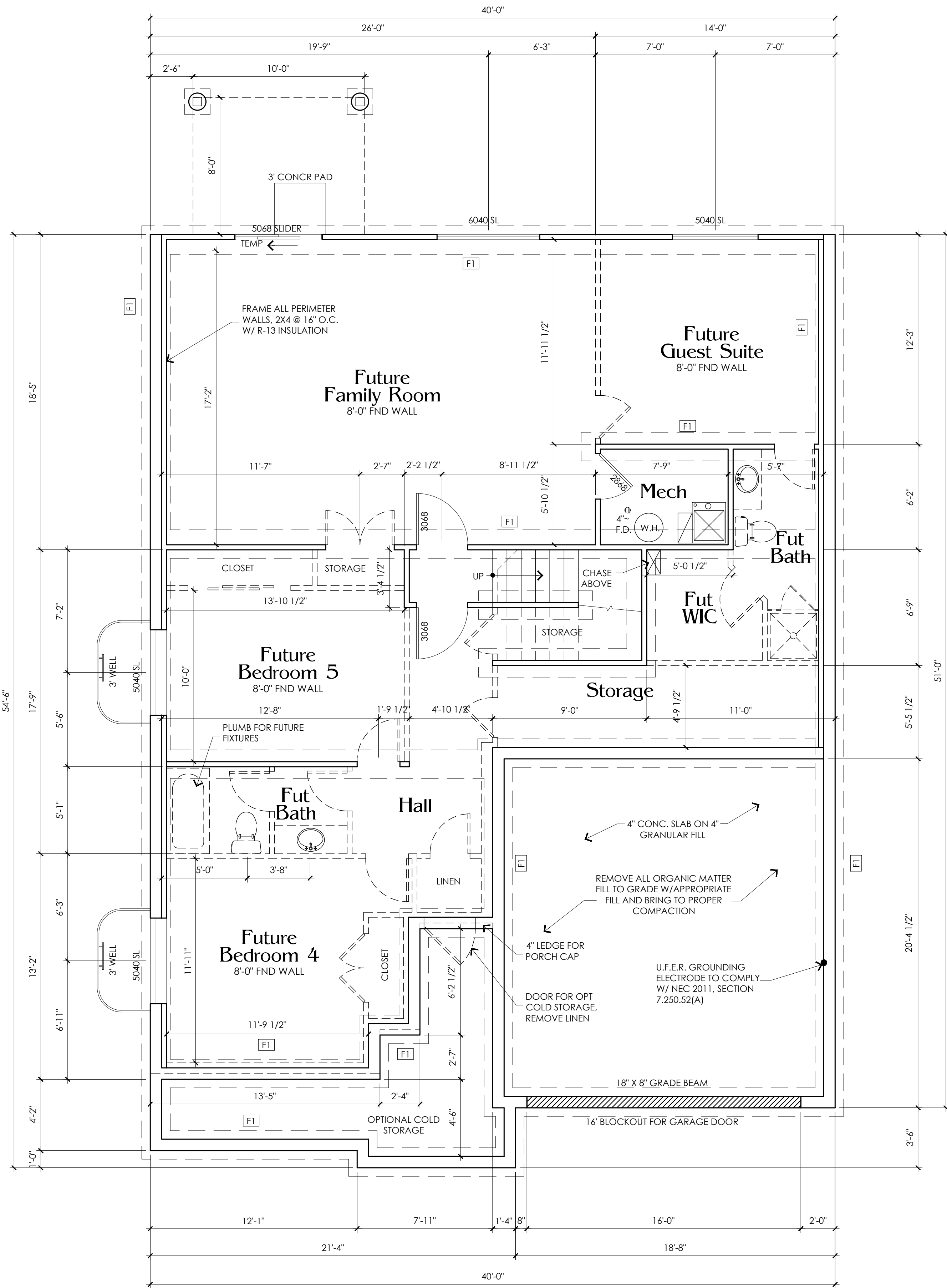
PLUMBING NOTE:
1. BACK WATER VALVE TO BE INSTALLED TO PROTECT BASEMENT PLUMBING FIXTURES WHERE THE FLOOD RIM OF THE FIXTURES ARE BELOW THE ELEVATION OF THE MANHOLE COVER OF THE NEXT UPSTREAM MANHOLE COVER IN THE PUBLIC SEWER.

- ENERGY NOTE:
1. ALL SUPPLY AND RETURN DUCTING IN UNCONDITIONED SPACES TO BE INSULATED TO AN R-8 RATING.
 2. AIR LEAKAGE COMPLIANCE IS REQUIRED PER IECC SECTION R402.4, G.C. TO PROVIDE A PASSING BLOWER DOOR TEST, WITH CERTIFICATION, AS OUTLINED IN R402.4.1.2 TESTING TABLE.
 3. A PASSING DUCT BLAST TEST IS REQUIRED FOR THE DUCT SYSTEM IN THE ATTIC SPACE.

- SITE NOTES:
1. CONCRETE WASHOUT REQUIRED AT SITE. ALL OTHER CONSTRUCTION LIQUIDS AND DEBRIS TO BE DISPOSED OF PER THE UTAH STATE CLEAN WATER ACT.
 2. FOOTING EXCAVATIONS SHALL BE INSPECTED AND APPROVED IN WRITING BY A QUALIFIED GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT.



GAS LINE DIAGRAM
SCALE: N.T.S.



BASEMENT PLAN
SCALE: 1/4"=1'-0"



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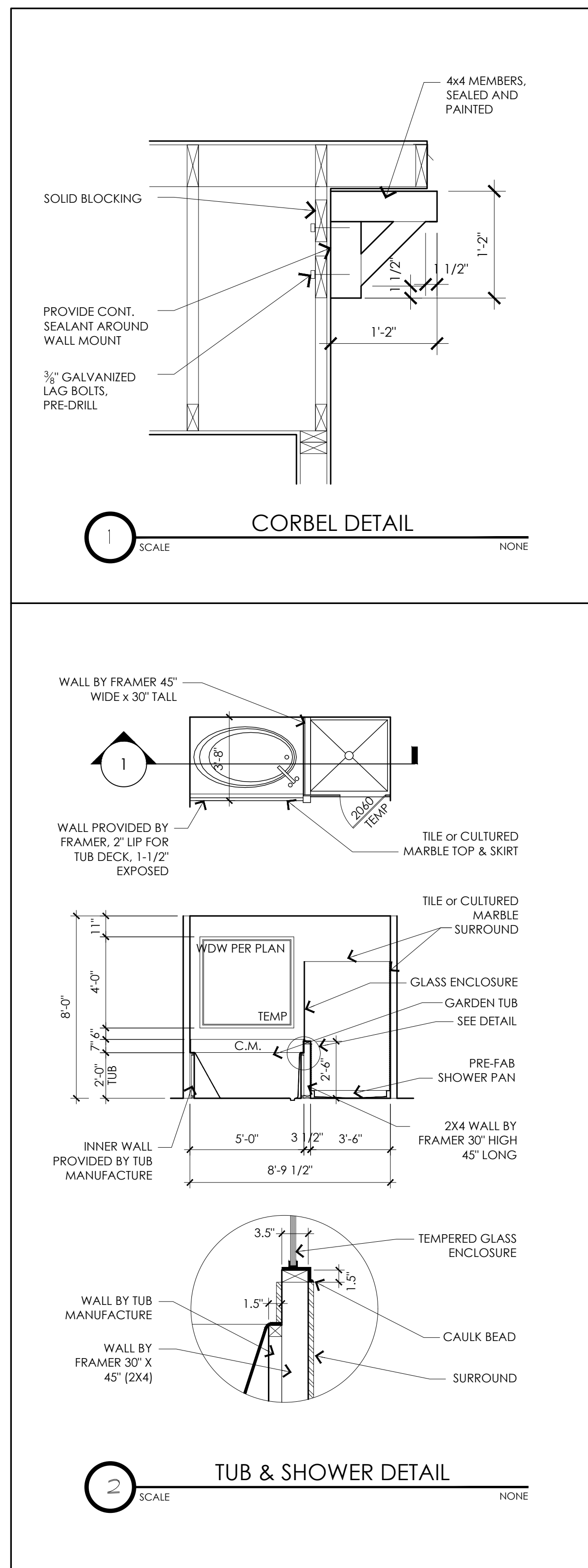
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BASEMENT PLAN

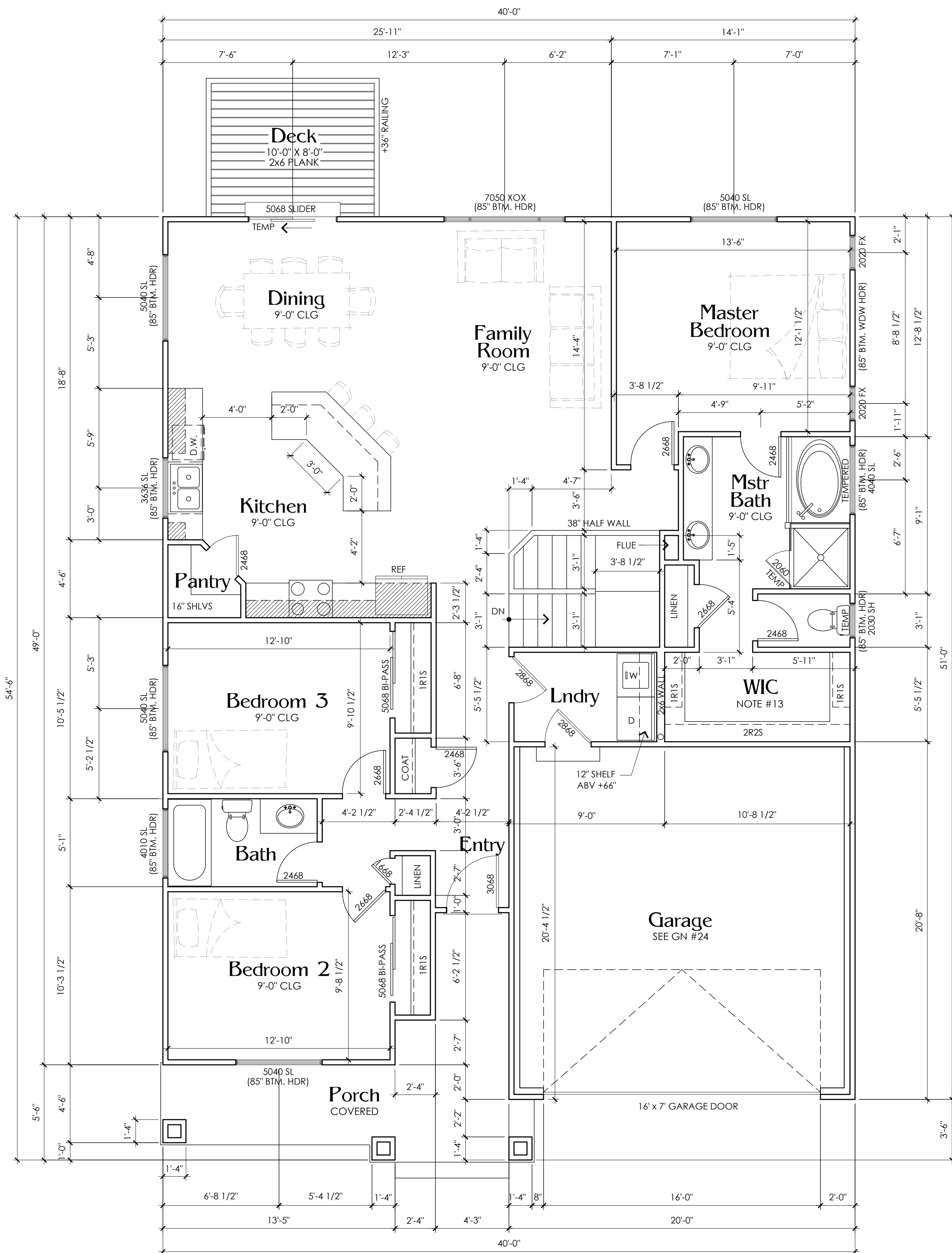
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GOMEZ
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10/31/2019

A1.1



NOTE : ALL DIMENSIONS ARE FROM FACE OF STUD TO
FACE OF STUD. ALL STUDS ARE 3 1/2" UNLESS NOTED.
ALL DIMENSIONS PRESENTED HERE ARE FRAME
DIMENSIONS ONLY - SEE SHT. 1.1 FOR FOUNDATION
FOOTPRINT.
REVIEW ALL WINDOW HDR HEIGHTS PER PLATE HT. AND
VERIFY W/ ELEVATIONS AND CORNICE DETAILS

NOTE:
ERRORS AND OMISSIONS WHICH MAY OCCUR IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER. IN WRITING, AND WRITTEN INSTRUCTION SHALL BE OBTAINED PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ERRORS, DISCREPANCIES OR OMISSIONS FOR WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER PRIOR TO CONSTRUCTION AND/OR FABRICATION OF THE WORK.



MAIN FLOOR PLAN

SCALE: $1/4"=1'-0"$



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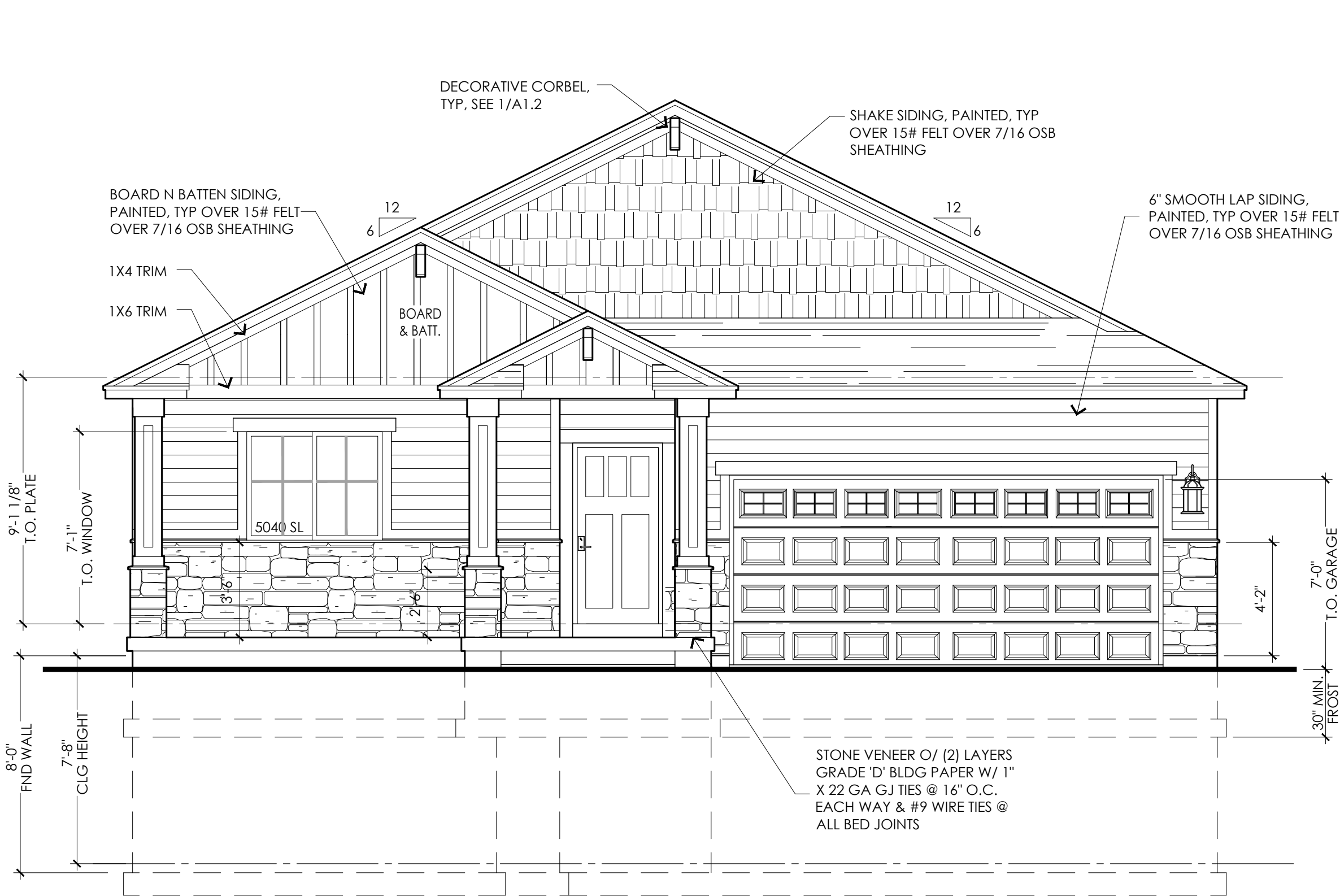
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FLOOR PLAN

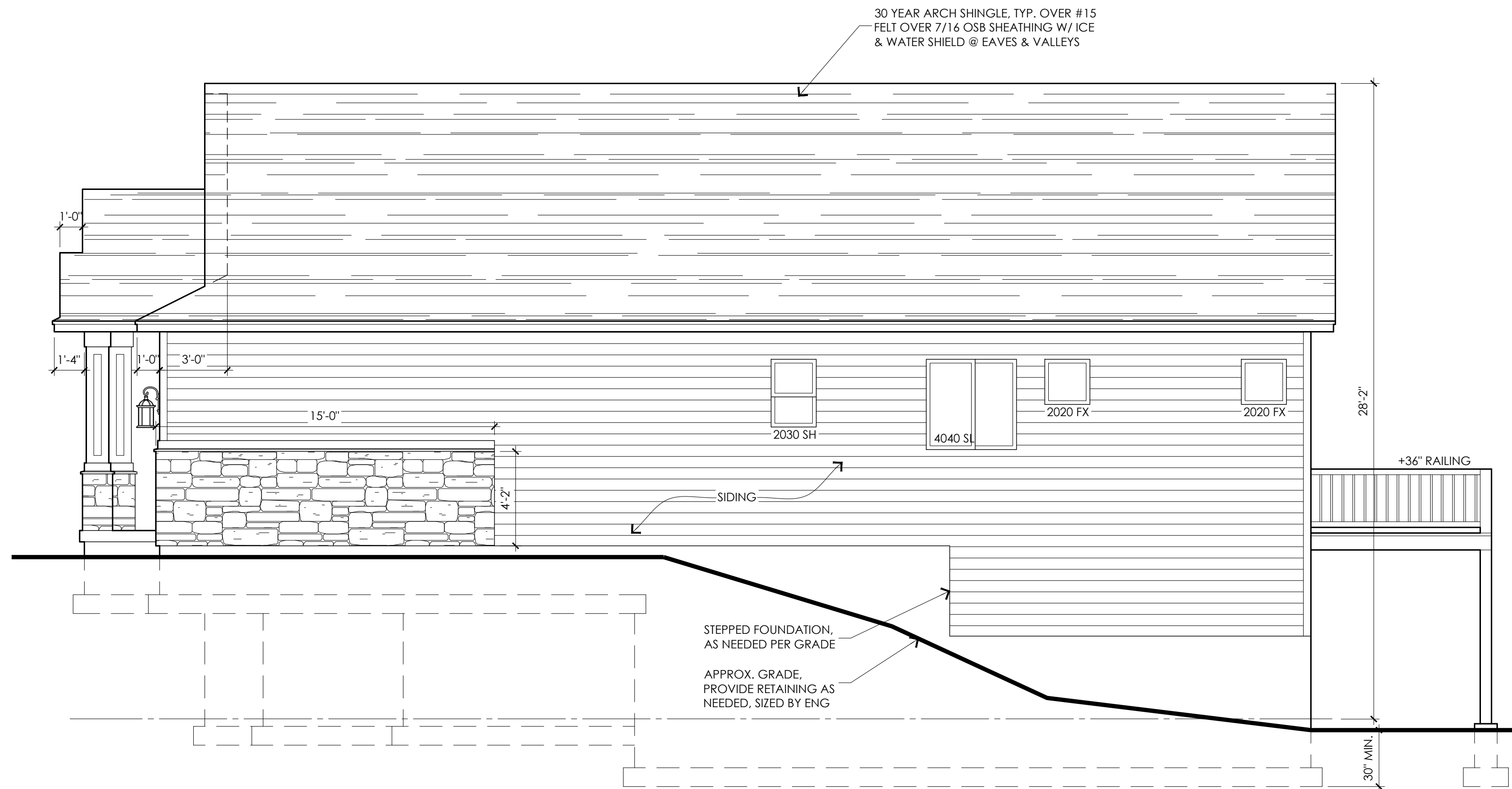
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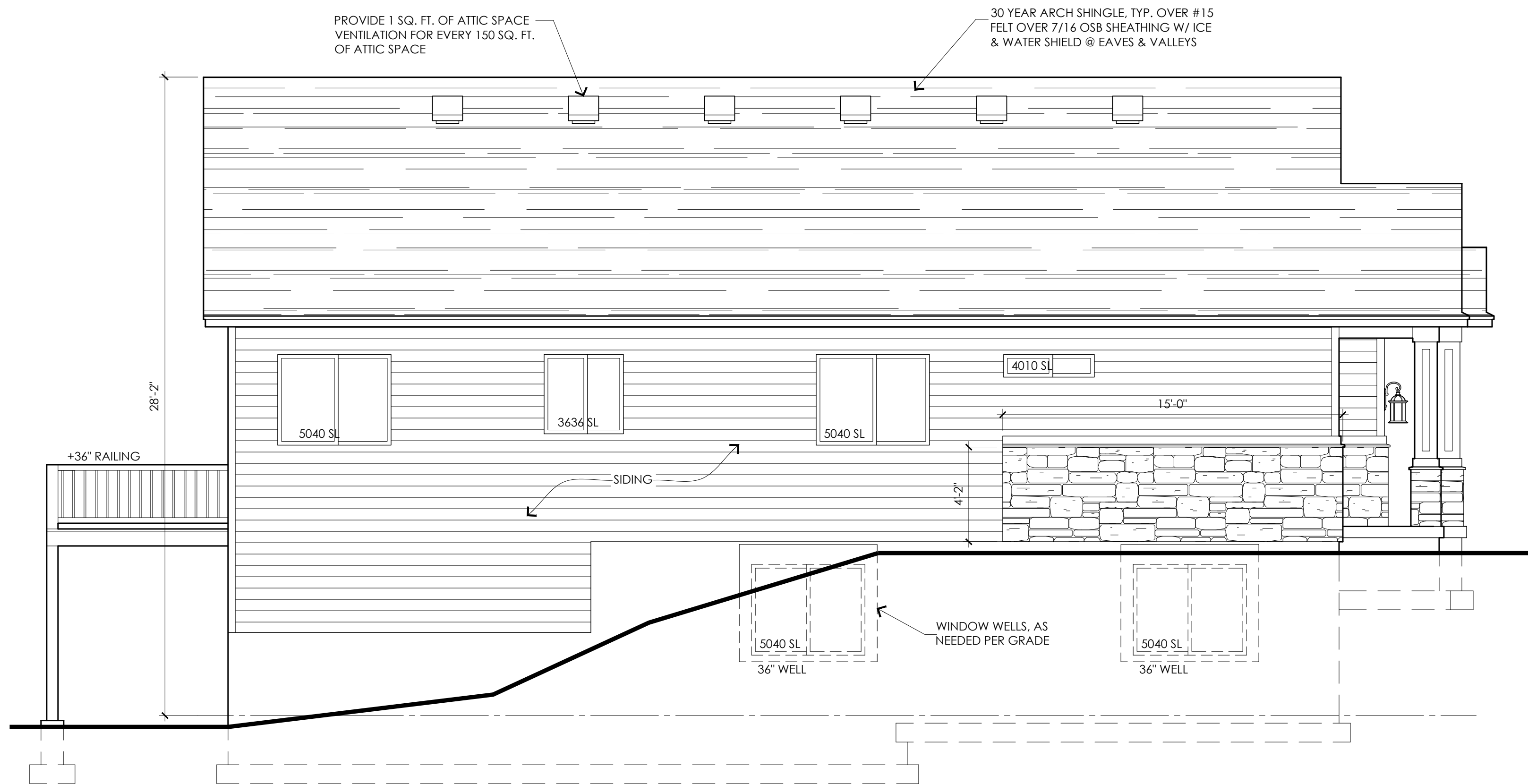
FRONT ELEVATION

SCALE: 1/4"=1'-0"



RIGHT ELEVATION

SCALE: 1/4"=1'-0"



LEFT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"



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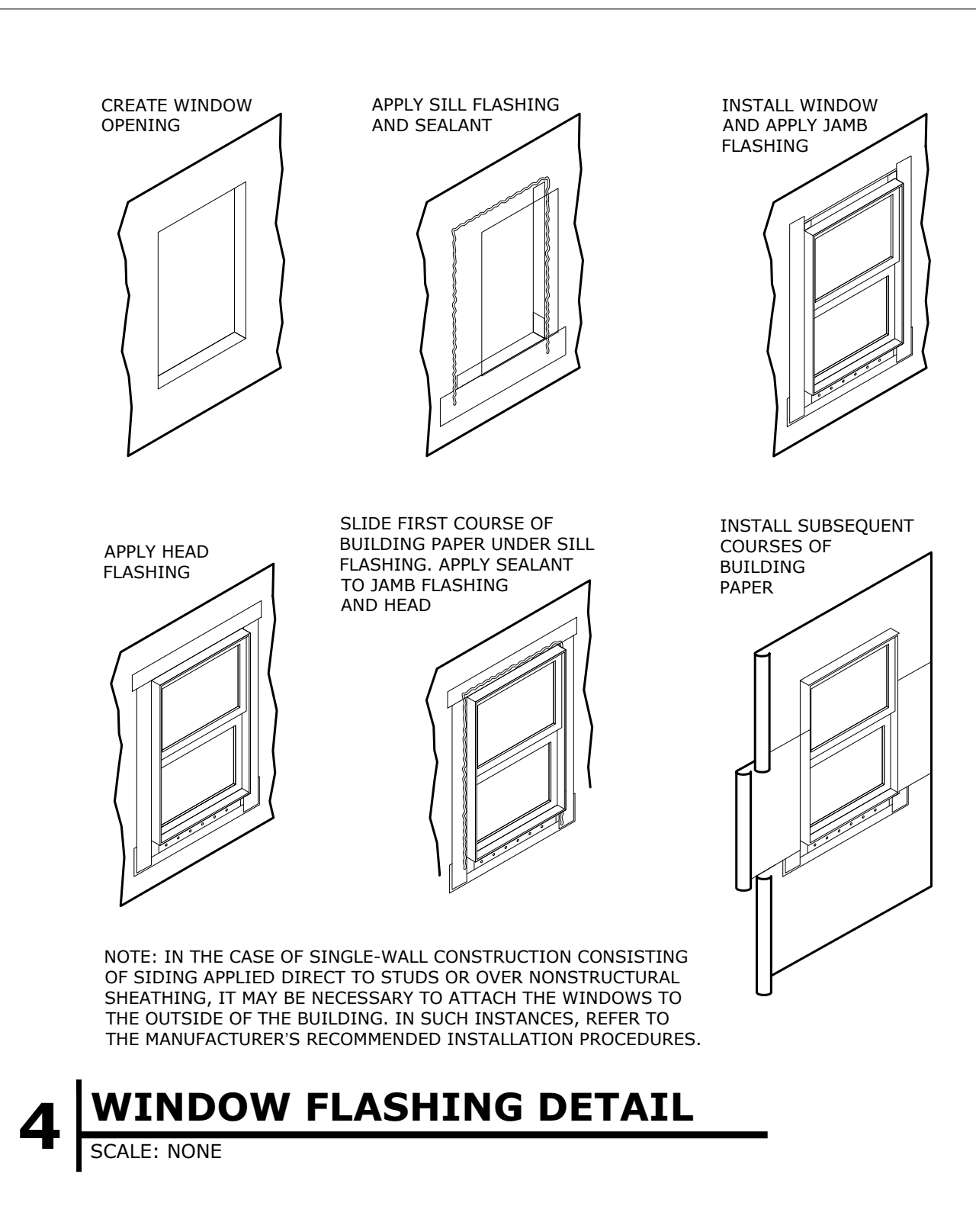
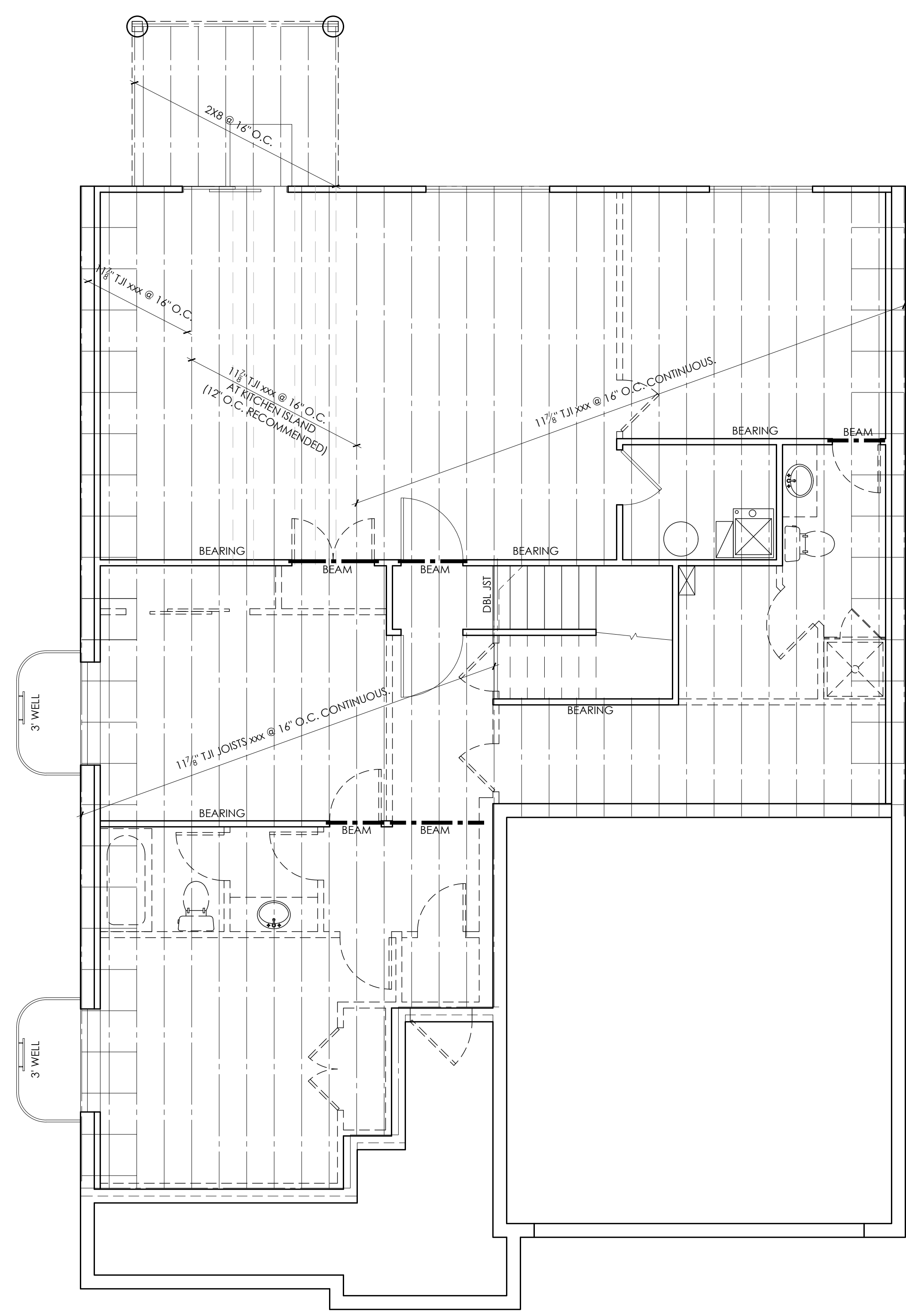
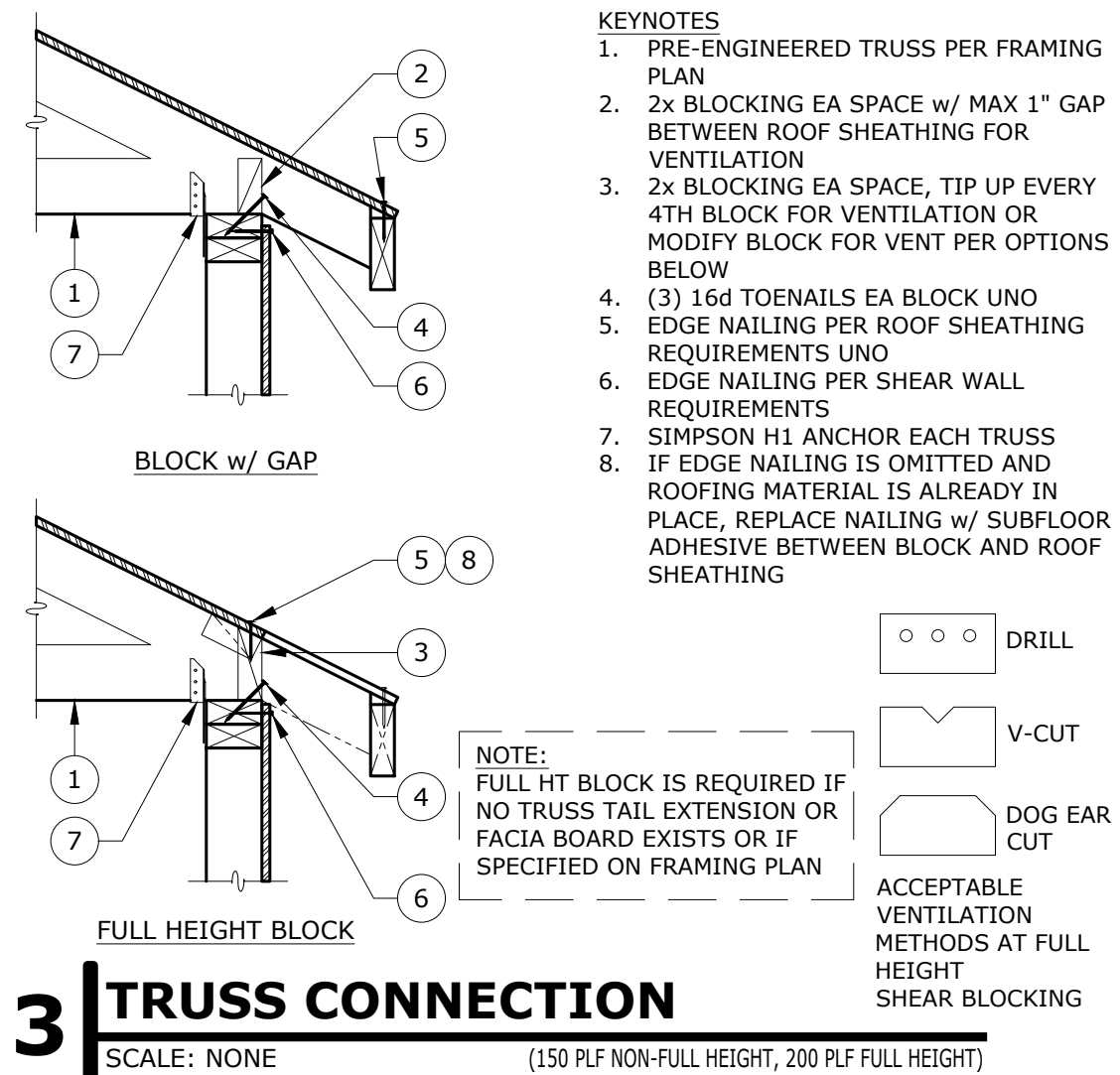
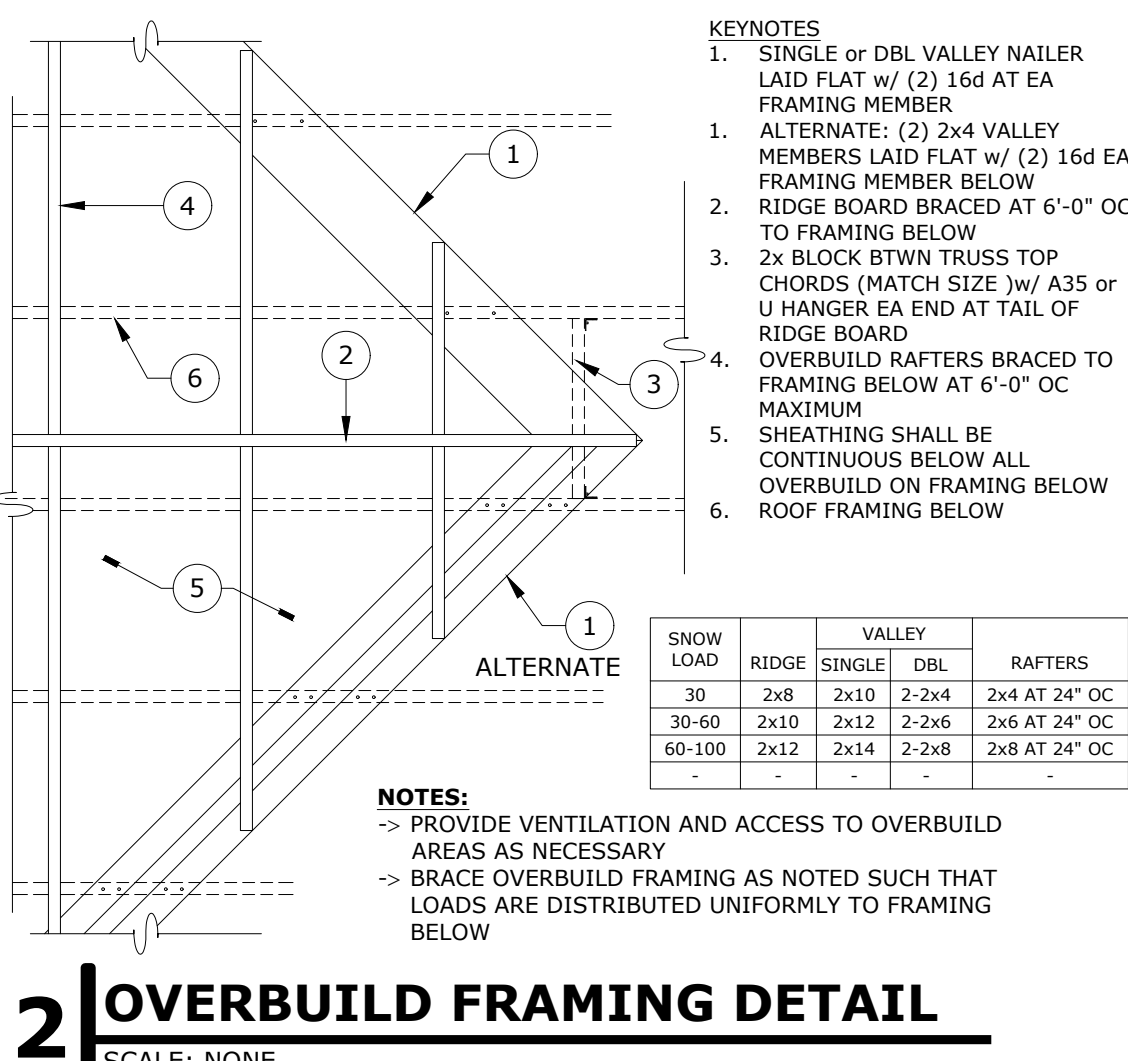
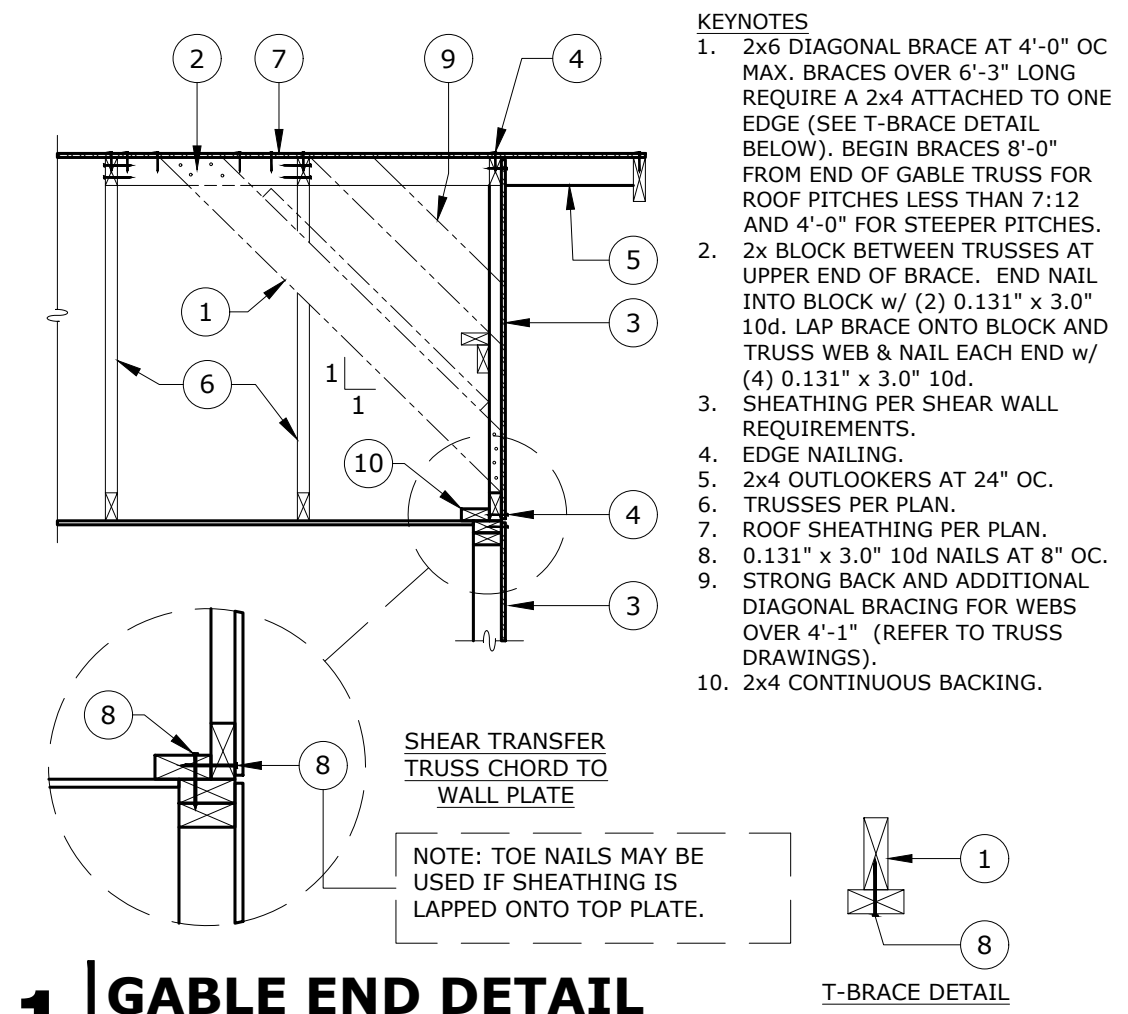
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ELEVATIONS

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Plan Name:
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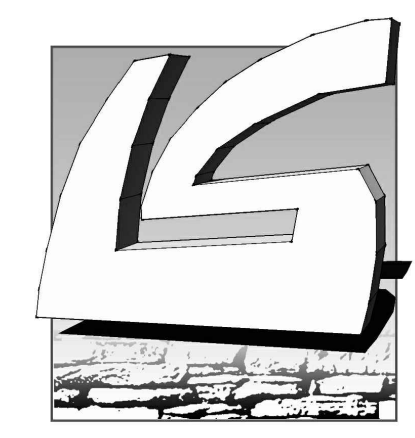
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TYPICAL DETAILS
SCALE: 3/4"=1'-0"

FLOOR FRAMING
SCALE: 1/4"=1'-0"



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FLOOR FRAMING PLAN

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Plan Name:
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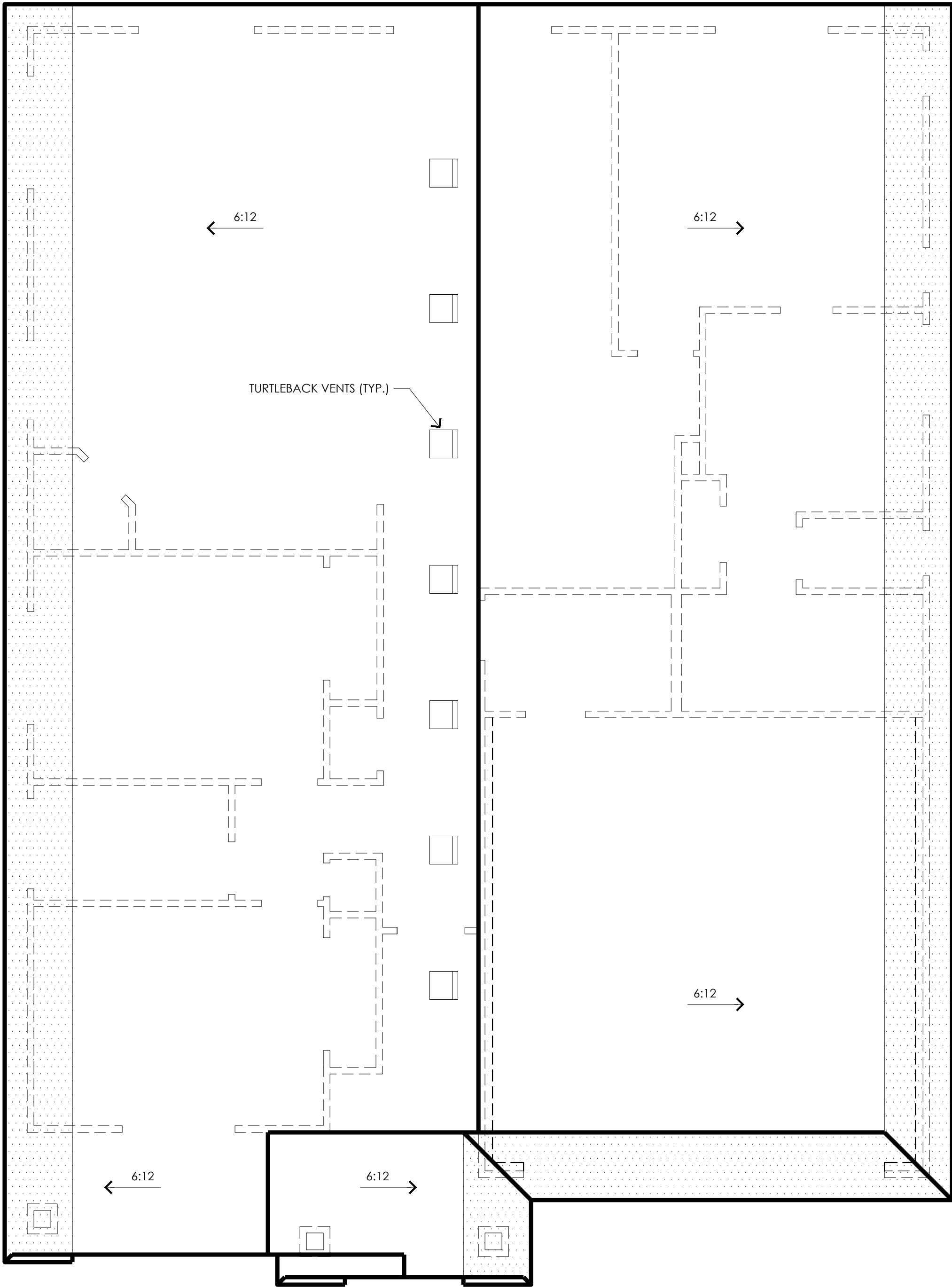
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ROOF PLAN

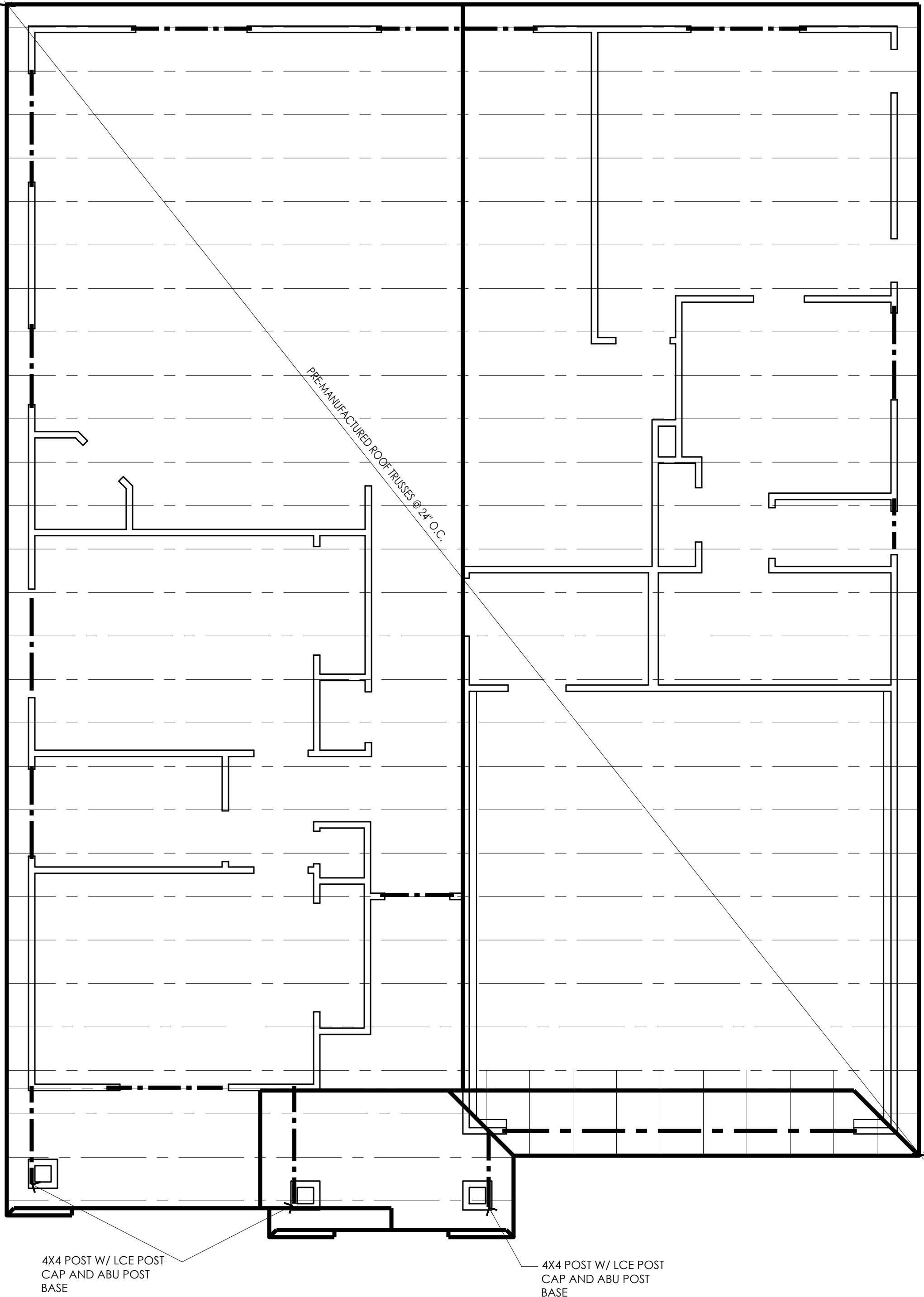
SCALE:1/4"=1'-0"



ROOF VENTILATION CALCULATIONS:
ROOF AREA = 1867 S.F.
1867 / 300 = 6.2 S.F. OVERALL VENTING REQ'D
50% = 3.1 S.F. REQ'D @ RIDGE & SOFFITS
VENTS INCLUDED:
(RIDGE) = 3.1 SQ FT REQ'D
(3) TURTLEBACK VENTS = 3 S.F.
(1) 12x18 GABLE VENTS = .9 S.F.
(SOFFIT) = 3.1 SQ FT REQ'D
(8) UNDEREAVE VENT GRILLS = 3.1 S.F.
(16'X8" ALUM VENTS = .56 SQ IN)

ROOF FRAMING PLAN

SCALE:1/4"=1'-0"



FRAMING NOTE:
1. ALL STRUCTURAL ELEMENTS AND CONNECTIONS TO BE SIZED AND VERIFIED BY THE GENERAL CONTRACTOR/ OWNER OF THE PROPERTY. WHERE REQUIRED, A LOCAL LICENSED ENGINEER MAY BE NEEDED. ALL ATTACHMENT METHODS AND FASTENERS TO BE VERIFIED AND APPROVED AND INSTALLED TO COMPLY WITH CURRENT CODE. DETAILS PROVIDED ON THIS SHEET ARE FOR REFERENCE ONLY AND NOT MEANT TO APPLY TO ALL GEOGRAPHICAL ZONES AND CODE RESTRICTIONS.

ENERGY NOTE:
1. ALL SUPPLY AND RETURN DUCTING IN UNCONDITIONED SPACES TO BE INSULATED TO AN R-8 RATING.
2. AIR LEAKAGE COMPLIANCE IS REQUIRED PER IECC SECTION R402.4, G.C. TO PROVIDE A PASSING BLOWER DOOR TEST, WITH CERTIFICATION, AS OUTLINED IN R402.4.1.2 TESTING TABLE.
3. A PASSING DUCT BLAST TEST IS REQUIRED FOR THE DUCT SYSTEM IN THE ATTIC SPACE. RESULTS TO GIVEN TO THE FIELD INSPECTOR.
4. SEALED TRUSS PACKAGE TO BE GIVEN TO FIELD INSPECTOR.



LedgeStone
HOME DESIGN

www.ledgestonedesign.com

9363 S GRAND TETON DR.
WEST JORDAN, UT 84088

CUSTOM NEW HOME
& REMODELING
DESIGN

801.897.5249
info@ledgestonedesign.com

Revisions:				
	A	.	.	.
	B	.	.	.
	C	.	.	.
	D	.	.	.

R1552-01 PLAN

3950 N Indian Cir NW
Acworth, GA 30144

ROOF FRAMING PLAN

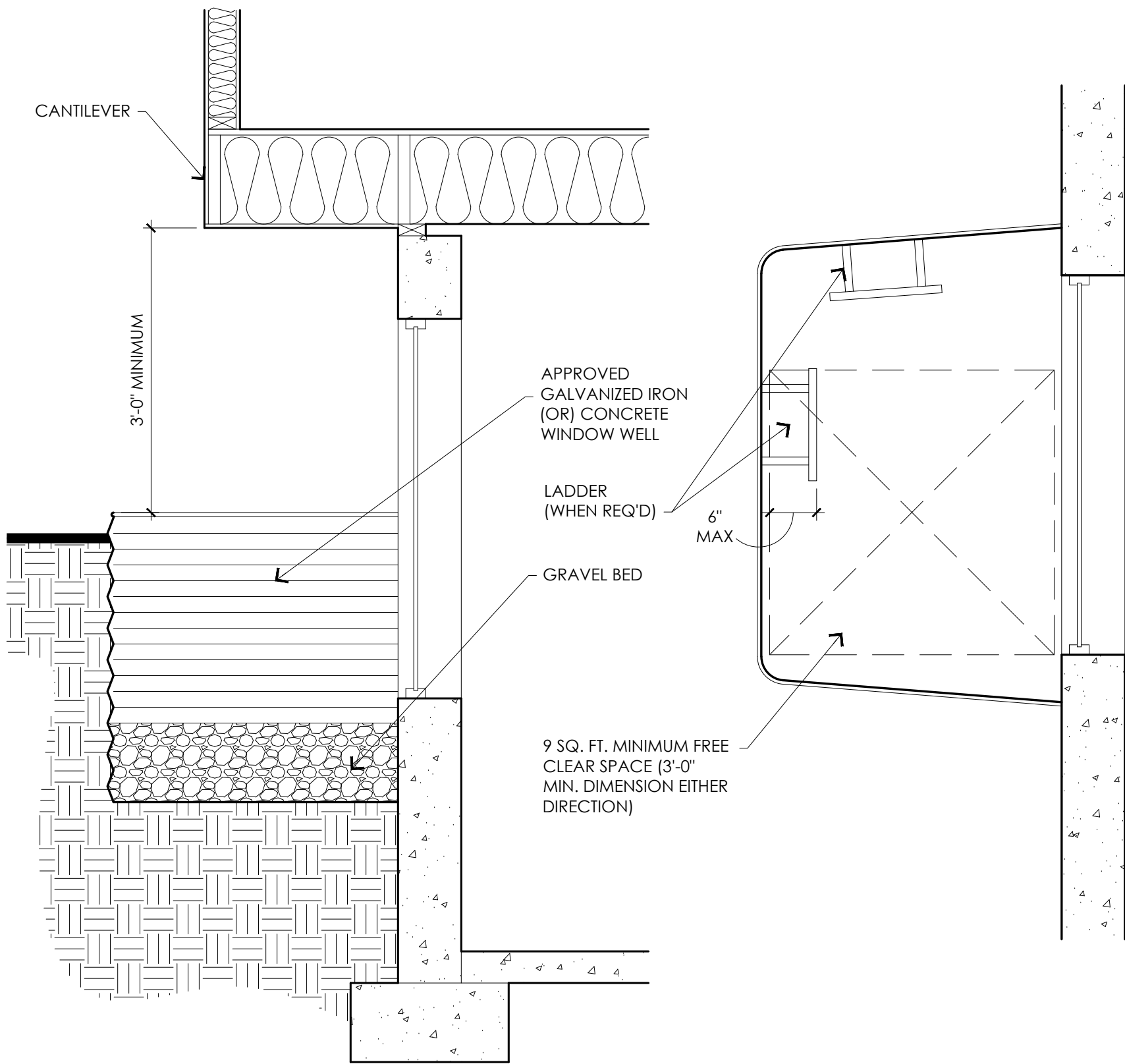
Drawn by:
MRW / MDW

Rev Date:
07/03/2023

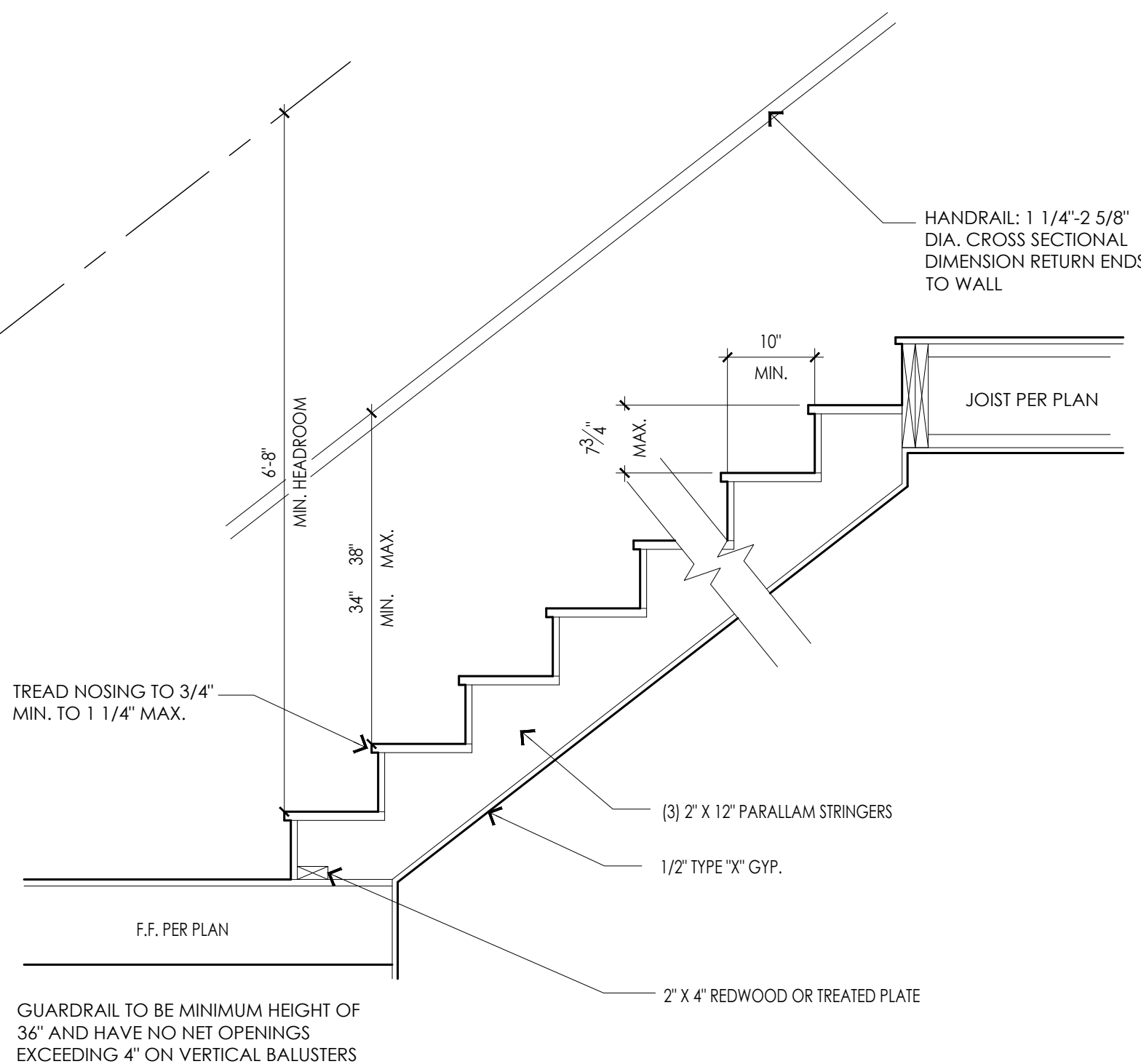
Plan Name:
R1552-01 PLAN
GOMEZ

Release:
10/31/2019

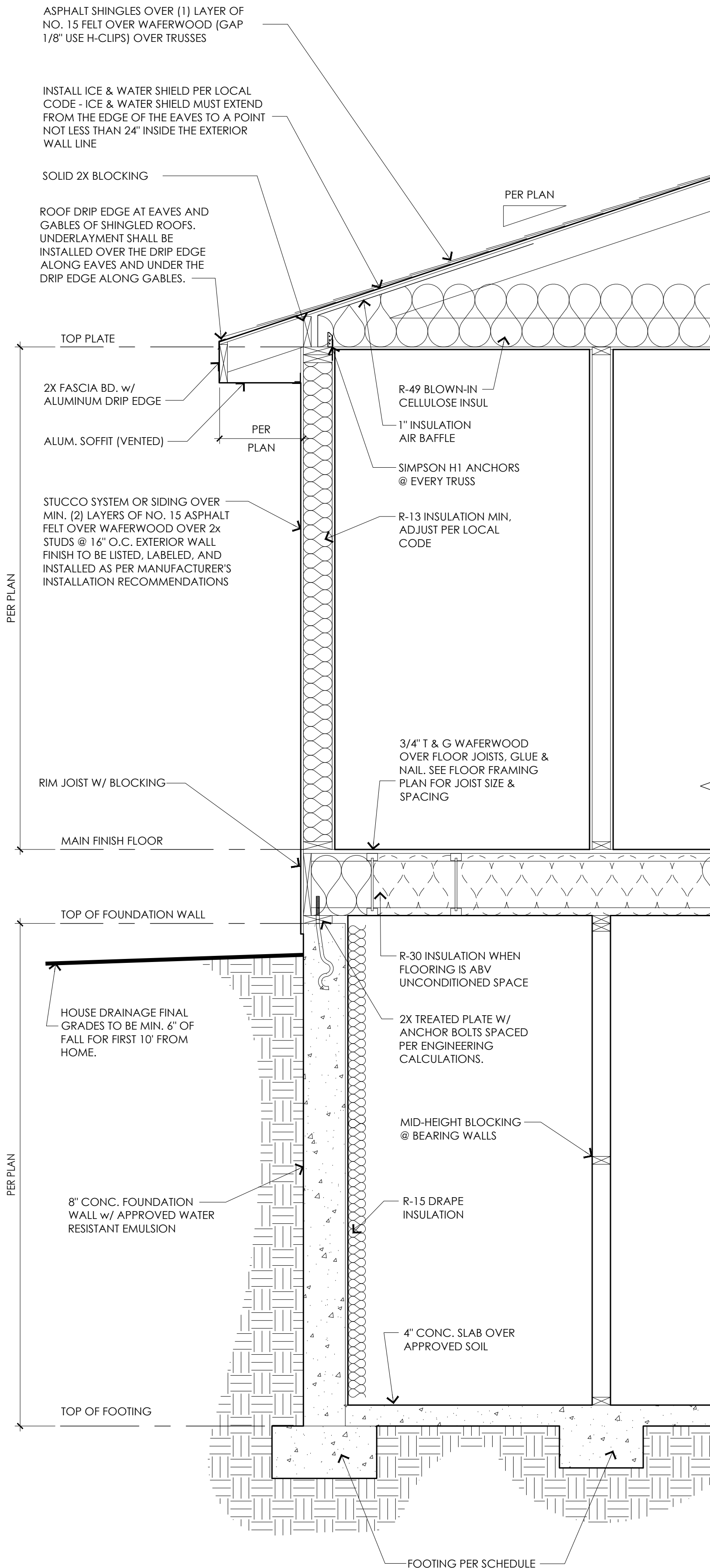
A3.2



C WINDOW WELL DTL
SCALE: 3/4"=1'-0"



B STAIR SECTION
SCALE: 3/4"=1'-0"



A CROSS SECTION
SCALE: 3/4"=1'-0"

ENGINEERING DISCLAIMER:
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DESIGNER ASSUMES NO RESPONSIBILITY FOR BEAM SIZES, FOOTING SIZES, REBAR SIZE AND PLACEMENT, SHEER WALLS, FOUNDATION STRAPS, ETC. WHEN A STRUCTURAL ENGINEER IS NOT REQUIRED OR ENGAGED, IT SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER OR OWNERS BUILDER TO PROPERLY SIZE STRUCTURAL ITEMS LISTED ABOVE ACCORDING TO PRESCRIPTIVE DESIGN IN THE CURRENTLY ADOPTED INTERNATIONAL RESIDENTIAL CODE.

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Revisions:

A	B	C	D
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R1552-01 PLAN

3950 N Indian Cir NW
Acworth, GA 30144

TYPICAL SECTIONS

Drawn by:
MRW / MDW
Rev Date:
07/03/2023
Plan Name:
R1552-01 PLAN
GOMEZ
Release:
10/31/2019

A4.1

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Revisions:

A	.
B	.
C	.
D	.

R1552-01 PLAN

3950 N Indian Cir NW
Acworth, GA 30144

ELECTRICAL PLANS

Drawn by:

MRW / MDW

Rev Date:

07/03/2023

Plan Name:

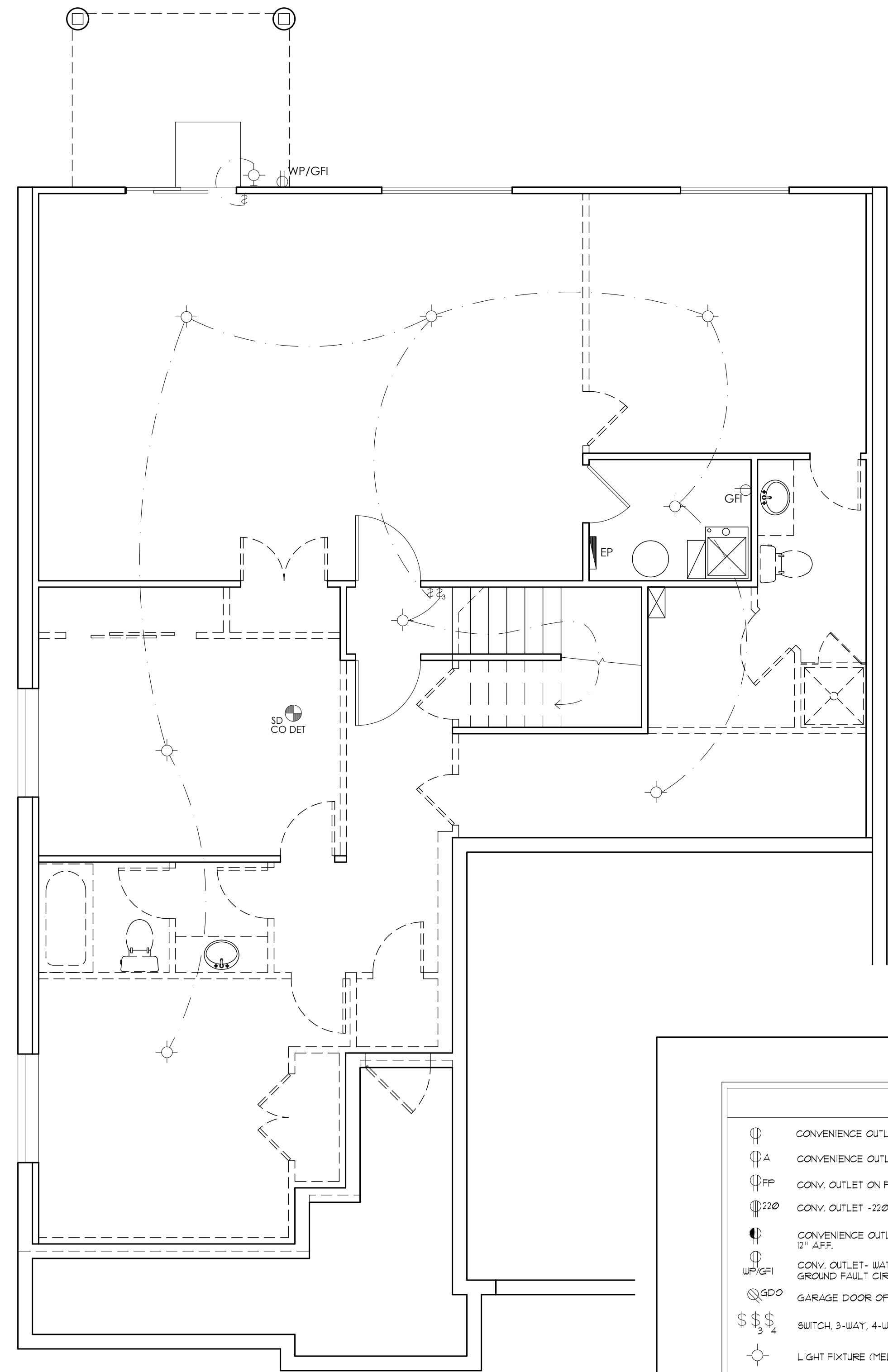
R1552-01 PLAN

GOMEZ

Release:

10/31/2019

E1.1



MECHANICAL NOTE:

EXHAUST HOOD SYSTEMS CAPABLE OF EXHAUSTING IN EXCESS OF 400 CUBIC FEET PER MINUTE (0.19 m³/s) SHALL BE MECHANICALLY OR NATURALLY PROVIDED W/ MAKEUP AIR AT A RATE OF APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED W/ NOT LESS THAN ONE DAMPER. EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIRED OR REPLACED.

ELECTRICAL PLANS

SCALE: 1/4"=1'-0"

ELECTRICAL SYMBOLS

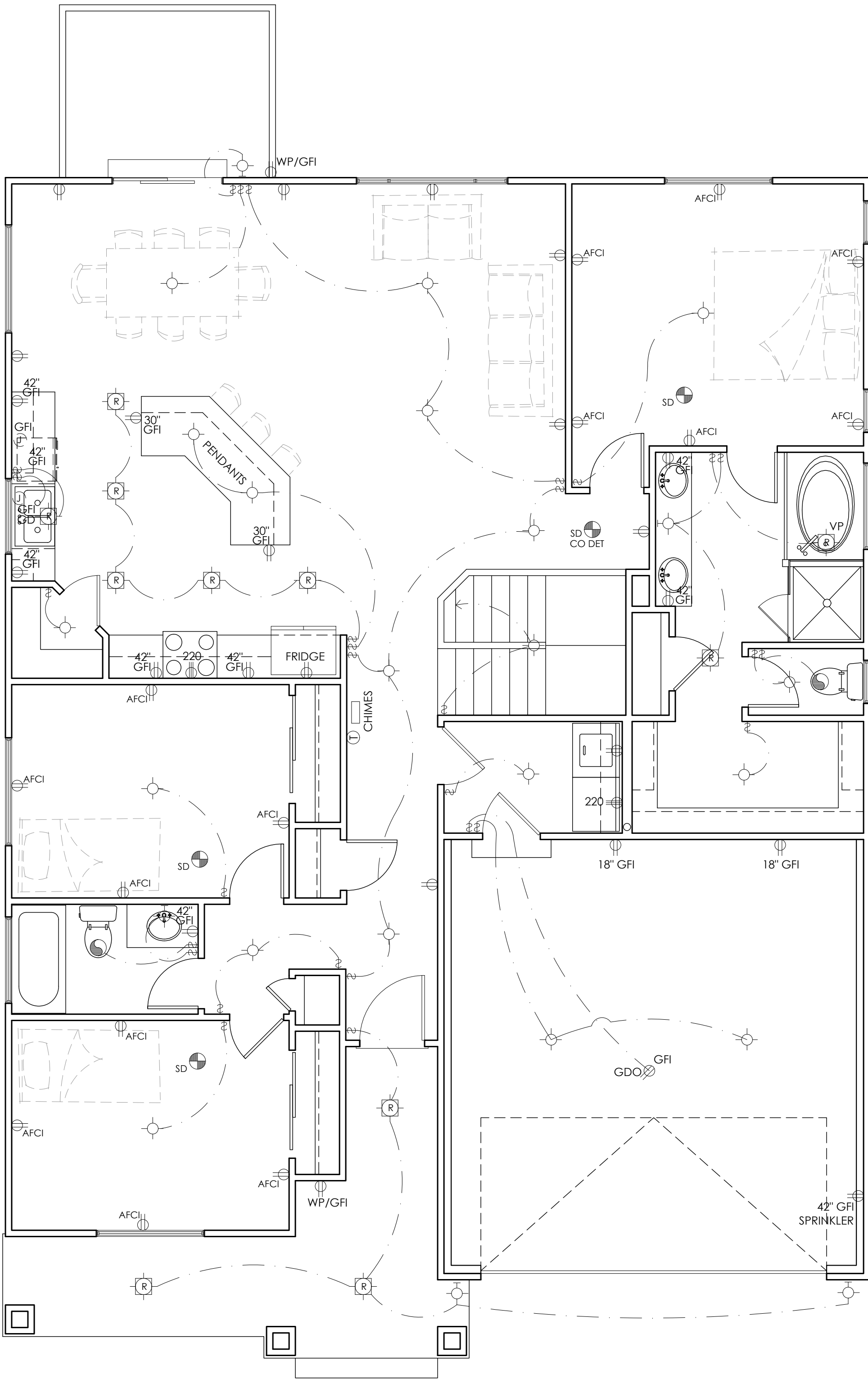
	CONVENIENCE OUTLET - SET 12" AFF UNO.		PHONE		TELEPHONE OUTLET - 12" AFF.
	CONVENIENCE OUTLET - 42" AFF		T.V.		T.V. OUTLET - 12" AFF.
	CONV. OUTLET ON FLOOR		INDICATES SMOKE DETECTOR-TO BE WIRED IN SERIES WITH BATTERY BACK-UP, CARBON MONOXIDE DET		
	CONV. OUTLET - 220 VOLT		EXHAUST FAN (VENT TO EXT.)		
	CONVENIENCE OUTLET - 1/2 SWITCHED 12" AFF.		ELEC. METER		
	CONV. OUTLET - WATER PROOF-		GAS METER		
	GROUND FAULT CIRCUIT INTERRUPT		ELECTRIC PANEL		
	GARAGE DOOR OPENER OUTLET, ABV		CEILING FAN		
	SWITCH, 3-WAY, 4-WAY - SET 38" AFF UNO.		FLUORESCENT LIGHT		
	LIGHT FIXTURE (MELOU/ FLUSH), CLG MOUNTED		LOW-VOLT COMBO BOX/ CONDUIT		
	LIGHT FIXTURE (DISK), CEILING MOUNTED		JUNCTION BOX - DISH WASHER		
	LIGHT FIXTURE (HANGING), CEILING MOUNTED		THERMOSTAT		
	LIGHT FIXTURE, WALL MOUNTED (INT/ EXT)		WEATHER PROOF		
	LIGHT FIXTURE, FLOOD LIGHT		VAPOR PROOF FIXTURE		
	RECESSED LIGHT FIXTURE		ROPE LIGHT AT TOE KICK		

NOTES:

1. 12" MIN. CLEARANCE TO SHELVES & CLOSET LIGHT FIXTURES
2. PROVIDE ARC FAULT CIRCUIT INTERRUPTER PROTECTION IN ALL BEDROOMS.
3. WP/GFI OUTLET TO BE LOCATED NO GREATER THAN 25'-0" FROM A/C UNIT.
4. PROVIDE WATER-PROOF BUBBLE COVERS ON ALL EXTERIOR OUTLETS.
5. THE DINING, BREAKFAST NOOK, PANTRY (IF SHOWN) AND OTHER SIMILAR AREAS ARE TO BE SERVED BY A SMALL APPLIANCE CIRCUIT.
6. LAUNDRY ROOM TO BE SERVED BY DEDICATED CIRCUITS.
7. ALL 3-20amp RECEPTACLES TO BE TAMPER PROOF, TYP.
8. GFIs NOT TO BE USED FOR FRIDGES OR FREEZERS.
9. KITCHENS TO BE SUPPLIED BY 2 OR MORE 20 AMP CIRCUITS.
10. PROVIDE HIGH EFFICIENCY LAMPS IN A MIN. OF 75% OF PERMANENTLY INSTALLED LIGHT FIXTURES PER NIOSA (184241) LIGHTING EQUIPMENT.
11. GFI/ GFCI - GROUND FAULT CIRCUIT INTERRUPTER.
12. SMOKE DETECTORS REQUIRED AS PER IRC R314, CARBON MONOXIDE DET. PER IRC R315.

VENTING NOTE:

1. PROVIDE OUTSIDE COMBUSTION AIR TO FURNACE AND WATER HEATERS, ONE DUCT WITH 12" OF CEILING AND 612" SQUARE INCH PER 3000 TOTAL BTU INPUT OF ALL APPLIANCES, PER G 2407.6.2



MAYOR

Derek Easterling

City Manager

Jeff Drobney, ICMA-CM

City Clerk

Lea Alvarez, CMC

**COUNCIL**

Mayor Pro Tem Tracey Viars

Lynette Burnette

Pat Ferris

Antonio Jones

Trey Sinclair

August 4, 2023

Pamela Mabry, County Clerk
Cobb County
100 Cherokee Street, #355
Marietta, Georgia 30090-9679

Subject: City of Kennesaw Zoning Application (Case# ZV2023-02)

(Current Address) 0 Woodland Drive, Kennesaw, GA 30144 – Parcel #20016600640

(Proposed New Address) 2407 Pine Drive, Kennesaw, GA 30144 – Parcel #20016600640

Dear Ms. Mabry,

Attached, please find a zoning application submitted by Jose Gomez to petition for a variance request for the above subject property. Because this case is within a half-mile from unincorporated Cobb County, this letter and enclosed application are being provided in accordance with the House Bill 489 Intergovernmental Agreement.

This case is set to go before the Kennesaw **Planning Commission on Wednesday, September 6, 2023** at 6:30 p.m. for public hearing and **Mayor and Council on Monday, September 18, 2023** at 6:30 p.m. for public hearing as well.

Thank you for your attention. Should you have any questions, you may call me at 770-590-8268 or send an e-mail to dsimmons@kennesaw-ga.gov.

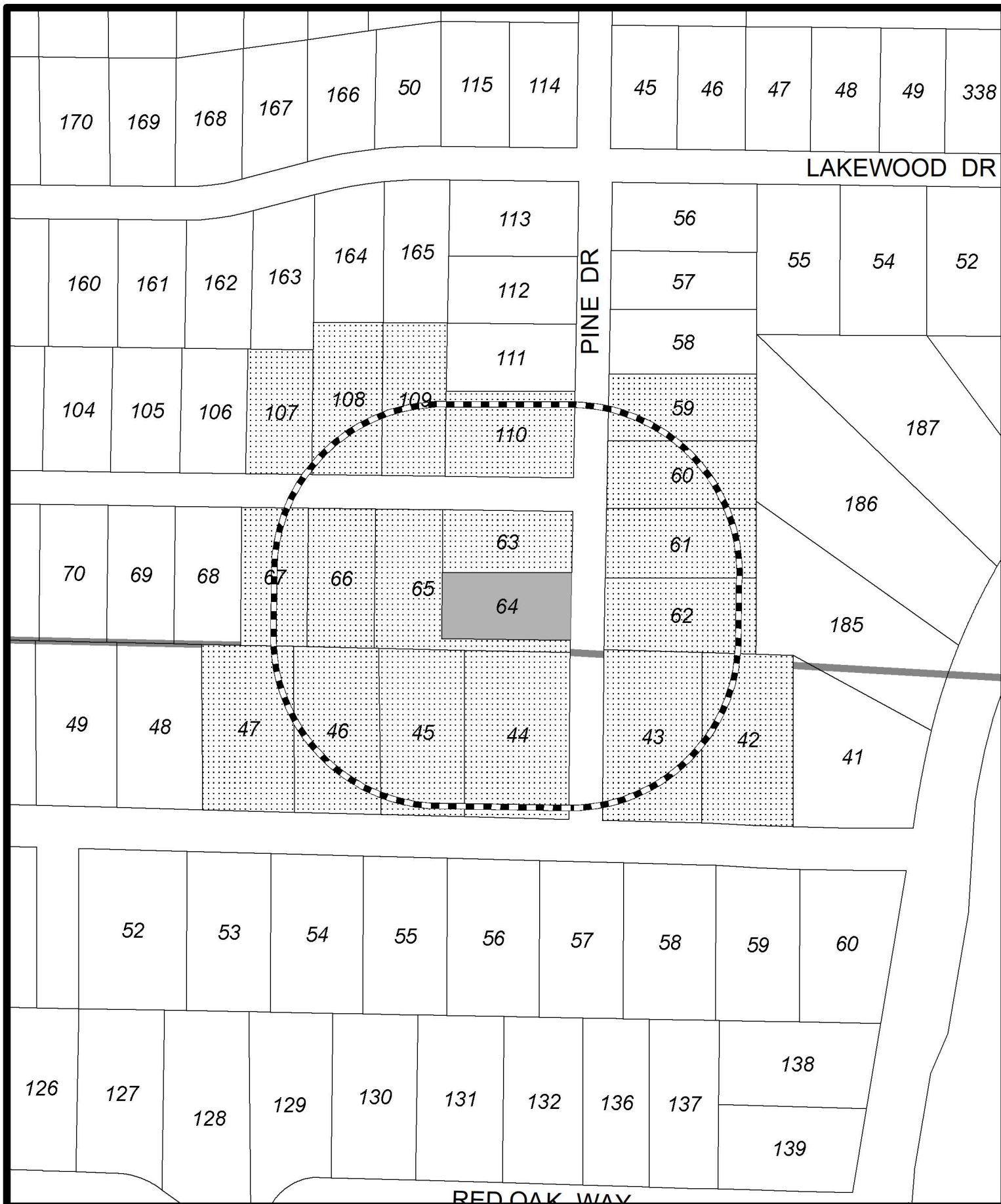
Sincerely,

Darryl Simmons

Darryl Simmons
Planning and Zoning Administrator

Enclosure: Zoning Application

cc: Dr. Jackie McMorris, Cobb County Manager (Via E-mail)
Jessica Guinn, AICP, Community Development Agency Director (Via E-mail)
Phillip Westbrook, Senior Planner, Cobb County Community Development (Via E-mail)
Donald Wells, Intergovernmental Coordinator/Planner III, Cobb County Community Dev. (Via E-mail)
Dr. Jeff Drobney, City Manager, City of Kennesaw (Via E-mail)
Albert Treviño, Assistant Zoning Administrator & Planner, City of Kennesaw (Via E-mail)
India Aldred, Community Development Administrative Assistant, City of Kennesaw (Via E-mail)



-  Subject Parcel
-  200' Radius
-  Properties Notified

2407 Pine Drive
Land Lot 166,
Tax Parcel 64

ZV2023-02
200' PROPERTY NOTIFICATION



CITY OF KENNESAW
 PLANNING & ZONING DEPT.
 770-590-8268

Doreen Escovading
 MAYOR
Lee Murray
 CITY CLERK

Date: 8/1/2023
 ZV2023-02 Notification Map

 1" = 150'

Tax Parcel - 20016600590
.....
PRUETT SHARON A & HARRY E
2434 PINE DR
KENNESAW GA 30152-3402

Tax Parcel - 20016601100
.....
POSEY JENNIFER B
2431 PINE DR
KENNESAW GA 30152-3401

Tax Parcel - 20017700440
.....
D'AIRES JEANNETTE
2430 DUE WEST CIR
KENNESAW GA 30152

Tax Parcel - 20016600620
.....
DUNCAN DOUGLAS E
2406 PINE DR
KENNESAW GA 30152-3465

Tax Parcel - 20017700460
.....
LILLY MANAGEMENT GROUP LLC
2450 DUE WEST CIR
KENNESAW, GA 30152

Tax Parcel - 20016600610
.....
CLEGHORN JEREMY B & PAMELA J
2416 PINE DR NW
KENNESAW GA 30152-3465

Tax Parcel - 20017700420
.....
SMITH BETTY
2410 DUE WEST CIR
KENNESAW GA 30152

Tax Parcel - 20016600660
.....
GOVAN AMISHA
2353 WOODLAND DR
KENNESAW, GA 30152

Tax Parcel - 20016600600
.....
NEWMAN GENA R & DOUGLAS R
2424 PINE DR
KENNESAW GA 30152

Tax Parcel - 20017700430
.....
FREEMAN VICKI G
2420 DUE WEST CIR
KENNESAW GA 30152-3304

Tax Parcel - 20016601070
.....
THE DOUGHTY FAMILY REVOCABLE TRUST
5501 NICHOLS RD
POWDER SPRINGS, GA 30127

Tax Parcel - 20016600630
.....
OLCAY TUNAHAN
2331 WOODLAND DR NW
KENNESAW GA 30152

Tax Parcel - 20016601080
.....
RANGEL JOSE M
2354 WOODLAND DR
KENNESAW GA 30152

Tax Parcel - 20017700470
.....
QUATTROCCHI ASTA
2460 DUE WEST CIR
KENNESAW GA 30152

Tax Parcel - 20016600670
.....
POWELL MEEKS TERESA LYNN
2363 WOODLAND DR NW
KENNESAW GA 30152

Tax Parcel - 20016600640
.....
GOMEZ JOSE
3950 N INDIAN CIR
KENNESAW GA 30144

Tax Parcel - 20016601090
.....
FLORES NED & ADRIANA FKA SALAZAR
2344 WOODLAND DR
KENNESAW GA 30152

Tax Parcel - 20016600650
.....
STROM MEGHAN
2343 WOOLAND DR NW
KENNESAW GA 30152

Tax Parcel - 20017700450
.....
LAYTON MARY JANE
2440 DUE WEST CIR NW
KENNESAW GA 30152

for the date of the above meeting.
8:18-2023

MDJ-6579
GP-16
City of Kennesaw
Variance Request

Notice is hereby given that the City of Kennesaw shall hold public hearings to give consideration for a variance request submitted by Jose Gomez. Said request is to vary from the minimum lot size required for the R-15 (single-family residential) zoning district and reduce the lot size requirement from 15,000 square feet to 11,999 square feet within the Unified Development Code under Appendix A, Section 4.01.02. The applicant is proposing to construct a single-family home on the property. The property is located at 2407 Pine Drive (parcel number 20016600640) on a parcel totaling 0.275 +/- acres lying in Land Lot 166, Tax Parcel 64, 20th District, 2nd Section, Cobb County, Georgia. Said meetings shall be held before the Planning Commission on September 6, 2023 at 6:30 P.M. and the Mayor and Council will hold a public hearing on September 18, 2023, at 6:30 P.M. both meetings to be held at 2529 J.O. Stephenson Avenue, Kennesaw, Georgia. Any interested persons may attend and be heard relative thereto.

Mayor and Council will be conducting their meeting in person you can access the meeting via the following link:
<https://www.facebook.com/CityofKennesaw/>

Any interested citizens are invited to email
kennesawcouncil@kennesaw-ga.gov.

8:18-2023

MDJ-6587

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**CITY OF KENNESAW
LAND USE NOTICE**
APPLICATION # ZV2023-02
PURPOSE: Variance for lot size to build new home
DATE OF PUBLIC MEETING: 9/06/2023 TIME: 6:30PM
PLACE: CITY HALL KENNESAW, GA
Due to the priority for public health and safety,
the City of Kennesaw will implement a public meeting
protocol system for community participation
in compliance to social distancing protocol.
For specific public meeting guidelines and access to all
application information please visit our website
[HTTP://WWW.KENNESAW.GA.GOV](http://WWW.KENNESAW.GA.GOV)
FOR FURTHER INFORMATION PLEASE CALL:
PLANNING AND ZONING DEPARTMENT 770-590-8268

08.25.2023 13:38

Historic Kennessaw Walking Tour

Andrew J. Bramlett

Proposal for the Historic Preservation Commission

Brief Overview

- ½ Mile tour of Downtown Kennesaw
- 45 minutes, 175 years of history
- Designed to be an easy walk with a wide variety of stories from Kennesaw's history.
- Cost: Free

End

Start

Dallas St

Old Georgia 293

City of Willis

Watts Dr

Watts Dr

Lil General Cloggers Ln

Watts Dr

City of Kennesaw
City Hall



Kennesaw Police
Department



Studio 22



BurgerFi
Hamburger • \$\$



Bernardo's Modern Mex



Bernie's Social Bar
American



Revival on Main
Apartment Homes



Cherokee

Historic

Stop #1 – Big Shanty Spring

- Start of tour and discussion of Native Americans, along with origin of the name “Kennesaw.”



Stop #2 – Camp McDonald Park

- This stop, across the street from City Hall, would cover both Camp McDonald and the Kennesaw City Cemetery.



Stop #3 – The Tunnel

- This stop on the tour would highlight the importance of transportation in Kennesaw history; both the railroad and Old 41.



Stop #4 – Ellis House and Office

- Traveling north along Main Street, this brief stop would cover one of the most interesting men to have lived in Kennesaw, Dr. John W. Ellis.



Stop #5 – Studio 22

- The building that houses Studio 22, the Hill Building, would be covered here.



Stop #6 – Main and Cherokee Streets

- This site was the location of Kennesaw's previous City Hall.



Stop #7 – Commemorative Park

- The history of the Great Locomotive Chase, *General*, and Southern Museum would be covered inside the park.



Stop #8 – Little General Cloggers Avenue

- The origins of Kennesaw street names, including J. O. Stephenson, Little General Cloggers Avenue, and Main Street would be covered here.



Stop #9 – City Hall

- The tour would end in front of City Hall with a history of the building, and of the original 1930s building which was located on the same site.

